



City of Barre, Vermont
Office of Planning, Permitting & Assessing
Services
6 N. Main Street, Suite 7
Barre, VT 05641
(802) 476-0245 ~ www.barrecity.org

BARRE CITY DEVELOPMENT REVIEW BOARD AGENDA
Regular Hearing held on Thursday, January 5, 2023 ~ 7:00 P.M.
Hybrid Meeting (In-person and Virtual)

<https://us06web.zoom.us/j/84972830621?pwd=dzZCSnRZY3g4L1ZjOUVLYWsyY0UwQT09>

Meeting ID: 849 7283 0621 ~ Passcode: 445631

Dial by your location: +1 929 205 6099 US (New York; long distance, charges may apply)

1. Call to Order 7:00 pm
2. Adjustments to the Agenda
3. Visitors and Communications
4. Old Business
 - Consideration of Minutes from December 1, 2022 Hearing
 - Consideration of Decision from December 1, 2022 Hearing
5. New Business

Granite City Apartments, Limited Partnership as applicant; Barre Housing Authority as owner; 4 Humbert Street. Seeks Major Site Plan, Conditional and Site Plan approval for conversion of a vacant storage building formerly an elementary school into 9 units of housing, MU-2 Zoning District.

Trustees of the Barre Lodge #1535, Benevolent & Protective Order of the Elks, 10 Jefferson Street. Seeks approval to construct a patio next to the building on the Jefferson Street side; UC-2 Zoning District, Design Review Overlay District.

6. Deliberative Session
7. Other Business – as needed
8. Roundtable – as needed
9. Executive Session – as needed
10. Adjourn

Participation Note: Under Chapter 117 Title 24 of the Vermont State Statutes, participation in these proceedings is a prerequisite to the right to make any subsequent appeal. You will lose the right to appeal the final decision unless you participate in the process by offering, through oral or written testimony, evidence or a statement of concern related to the application being reviewed. Oral testimony must be given at the public hearing. Written testimony must be submitted prior to the close of the public hearing.

Development Review Board hearings are open to the public.

For questions about accessibility or to request accommodation, please call (802) 476-0245.

**DEVELOPMENT REVIEW BOARD
MINUTES FOR THE REGULAR HEARING
THURSDAY, DECEMBER 5, 2022
DRAFT**

A regular meeting of the Barre City Development Review Board held in person and video conference was called to order by Chair Linda Shambo (Ward I) at 7:03 pm. In attendance, participating on video or in person were Board Members Vice Chair Jeffrey Tuper-Giles, Ward I Ward II member Sarah Helman; Ward III member Katrina Pelkey; and At-Large members Michael Hellein, and Jessica Egerton. Also in attendance was Janet Shatney, Planning Director. The Chair determined a quorum was present.

Absent: Ward II member David Hough; At-Large member Ulysse “Pete” Fournier.

II. Adjustments to Agenda: None

III. Visitors and Communications: None

IV. Old Business:

Consideration of August 4, 2022 Decisions:

- Motion to approve the minutes made by Helman and seconded by Egerton, **motion carried.**

Consideration of August 4, 2022 minutes:

- Motion to approve the decision made by Helman and seconded by Hellein with street name corrections, **motion carried.**

The Chair stated that anyone wishing to speak or be on record must sign in on the sheet at the clipboard, and would be sworn in when testimony was to be given.

V. New Business:

James & Gail MacDonald, 11 Hilltop Avenue. Seeks approval for a dimensional variance from the side and rear property lines for a deck and spa room; R-8 Zoning District.

James MacDonald was sworn in, introduced his wife Gail, and William Duprey, a former neighbor. Mr. MacDonald gave a visual presentation:

- Have ongoing health issues, and employers allow them both to work from home
- Doctor’s recommendation is therapy, specifically water therapy
- Was completing water therapy at the RehabGym, but was getting cost prohibitive
- Stated the builder, Eric Smith of Precision Builders in NH had stated no permits were needed
- Barre City Electrical Inspector Rob Strachan had showed up and noted the needed building permit
- The rear of the entire structure is 6 ½ feet from the rear property line, shorter on the side
- There is a sun deck area (flat surface) for yoga and sun, with a spa room built around a swim spa, on a concrete pad and insulated.

To be approved at the 01/05/2023 Hearing

Board comments and/or questions were as follows:

- Both Egerton and Helman noted a very detailed application.

There was no one there from the public to comment on the record. The MacDonalds were thanked by the Board and all visitors retired from the Chambers.

VI. Other Business – Election of Officers

- Chair Shambo opened the floor to nominations for Chair, Vice Chair and Secretary
- Tuper-Giles nominated Shambo as Chair with Egerton seconding; motion by Tuper-Giles and seconded by Egerton for Shambo as Chair, **motion carried.**
- Egerton nominated Tuper-Giles as Vice Chair with Hellein seconding; motion by Egerton and seconded by Hellein for Tuper-Giles as Vice Chair, **motion carried.**
- Tuper-Giles nominated Shatney as Secretary, seconded by Shambo; motion by Helman and seconded by Tuper-Giles for Shatney as Secretary, **motion carried.**

VII. Roundtable

- Shambo noted that for this future agenda item, it will say “as needed”
- Tuper-Giles said the Park looks great and the poles with the decorations are very nice
- Pelkey noted a great Craft Show at the Auditorium held after Thanksgiving
- Helman echoed Pelkey, and said that Merry Barre was great with a nice, short parade; and recognition that the Coin Drop coming up is by the City Councilors for Christmas for Kids

A short discussion occurred about the hearing time of 7 pm, as Shambo polled the members as to their preferences; some thought 6:30 pm would be good but it was largely agreed that 7 pm works for the applicants, so there is no change in the time of the meetings.

VIII. Executive Session – not needed

IX. Deliberative Session: Motion by Tuper-Giles and seconded by Helman to enter Deliberative Session at 7:36 pm with Planning Director invited in, **motion carried.**

Motion by Helman and seconded by Tuper-Giles to leave Deliberative Session at 7:46 pm, **motion carried.**

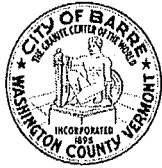
Motion by Tuper-Giles to approve the Variance request as presented, seconded by Hellein, **motion carried.**

X. Adjourn: The hearing adjourned at 7:49 pm on motion by Tuper-Giles and seconded by Helman, **motion carried.**

The open portions of this hearing were recorded on the video meeting platform.

Respectfully Submitted,

Janet Shatney, Planning Director



City of Barre, Vermont

"Granite Center of the World"

DEVELOPMENT REVIEW BOARD NOTICE OF DECISION

I. STATEMENTS OF FACT

1. The City of Barre Development Review Board held a public hearing on December 1, 2022 to review the variance request for setback encroachment to 11 Hilltop Avenue.
2. The Owners and applicants of the subject property are James and Gail MacDonald.
3. The subject property is located at 11 Hilltop Avenue, tax map ID# 0800-0011.0000, SPAN # 036-011-11719 in the UC-1 Zoning District.
4. The application consisted of the following:
 - a. Development Application dated November 10, 2022
5. The applicant has requested the following:
 - a. Approval for a dimensional variance from the side and rear property lines for a pre-built deck and spa room.
6. The hearing occurred on Thursday, December 1, 2022, and was held both in-person and utilizing electronic meeting software in accordance with Open Meeting Law.
7. The property at 11 Hilltop Avenue is a residential structure, in the R-8 zoning district, on 0.10 acres. The property is bounded by residential, vacant land and city streets.
8. As of the date of issuance of these Findings of Fact and Order, the following person(s) participated in the hearing:
 - a. James MacDonald.
10. The Board utilized deliberative session and voted on the application. A motion was made by J. Tuper-Giles and seconded by M. Hellein to approve the variance as presented. Motion passed 7 in favor (Shambo, Tuper-Giles, Pelkey, Helman, Hellein, Egerton), 0 opposed, ***motion carried.***

II. BOARD FINDINGS

The Development Review Board has found that the applicant demonstrated that the variance request meets the applicable standard specified below:

Section 4405.A(1) *Variances*;

III. BOARD DECISION

Based upon the aforesaid Statements of Fact and Board Findings, the City of Barre Development Review Board hereby **approves** the variance request as presented to James and Gail MacDonald, owner and applicant of 11 Hilltop Avenue.

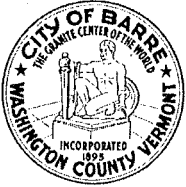
IV. APPEAL RIGHTS

The owner of the project property and interested persons have a right to appeal this decision, within 30 days of the date this decision is issued, to the Vermont Environmental Court, pursuant to 24 V.S.A. §4471 and V.R.E.C.P. in writing to the Vermont Environmental Court, 32 Cherry Street, 2nd Floor, Suite 303, Burlington, VT 05401 and a copy to the City of Barre Development Review Board at 6 N. Main Street, Suite 7, Barre, VT, 05641. The fee is payable to the Vermont Environmental Court. If you fail to appeal this decision within 30 days, you will lose your right to appeal at some future time. You will be bound by the decision, pursuant to 24 V.S.A. §4472(d) (exclusivity or remedy, finality). This also applies to any interested person(s) who may have had a right to appeal.

Dated at City of Barre, Washington County, State of Vermont this 15th day of December, 2022.



Linda Shambo, Chair of the Development Review Board, on behalf of the Board



City of Barre, Vermont

"Granite Center of the World"

Permitting Office in City Hall ~ 6 N Main Street, Suite 7, Barre, VT 05641

ZONING PERMIT APPLICATION

Check all activities involved in this application:

<input type="checkbox"/>	New Construction	<input checked="" type="checkbox"/>	Site Work
<input type="checkbox"/>	All other construction	<input type="checkbox"/>	Pool (if greater than 20' or 5' in depth)
<input type="checkbox"/>	Building Addition	<input type="checkbox"/>	Construction Job Trailer
<input type="checkbox"/>	Accessory Structure, greater than 40 sq. ft.	<input type="checkbox"/>	Permanent Sign
<input type="checkbox"/>	New apartment	<input type="checkbox"/>	Temporary Sign/Banner
<input type="checkbox"/>	Accessory apartment	<input type="checkbox"/>	Sandwich Board Sign
<input type="checkbox"/>	Building Alteration	<input type="checkbox"/>	Home Occupation
<input checked="" type="checkbox"/>	Interior Renovation (if change of use of room)	<input type="checkbox"/>	Home Business
<input type="checkbox"/>	Demo in Historic District (needs DRB approval)	<input type="checkbox"/>	Boundary Line Adjustment
<input type="checkbox"/>	Dec - porch - steps - ramp	<input type="checkbox"/>	Subdivision
<input type="checkbox"/>	Handicapped ramp	<input checked="" type="checkbox"/>	Parking Lot
<input checked="" type="checkbox"/>	Change of Use	<input type="checkbox"/>	Soil / Sand / Gravel Extraction
<input type="checkbox"/>	Fence or Wall	<input type="checkbox"/>	Dimensional Waiver Request (DRB approval)
<input type="checkbox"/>	Temporary Structure	<input type="checkbox"/>	Appeal (DRB approval)
<input type="checkbox"/>	Certificate of Compliance	<input type="checkbox"/>	Variance Request (DRB approval)
<input type="checkbox"/>	Temporary Certificate of Compliance	<input type="checkbox"/>	Other: _____

ESTIMATED COST OF PROJECT: \$ 2,794,288

ZONING APPLICATION FEES (check all that apply)¹:

<input type="checkbox"/>	\$20	Residential 1-4 Units (\$1 - \$5,000)	<input type="checkbox"/>	\$40	Site Work
<input type="checkbox"/>	\$40	Residential 1-4 Units (\$5,001 - \$10,000)	<input type="checkbox"/>	\$40	Signs
<input type="checkbox"/>	\$75	Residential 1-4 Units (\$10,001 - \$25,000)	<input type="checkbox"/>	\$40	Sandwich Board Sign
<input type="checkbox"/>	\$100	Residential 1-4 Units (\$25,001 - \$150,000)	<input type="checkbox"/>	\$30	Temporary Sign/Banner
<input type="checkbox"/>	\$150	Residential 1-4 Units (\$150,000 +)	<input type="checkbox"/>	\$40	Change of Use
<input type="checkbox"/>	\$50	Comm., Indus., Mixed Use, Res 5+ Units (\$1 - \$10,000)	<input type="checkbox"/>	\$40	Home Occupation
<input type="checkbox"/>	\$100	Comm., Indus., Mixed Use, Res 5+ Units (\$10,001 - \$25,000)	<input type="checkbox"/>	\$20	Subdivision Sketch Plan Approval
<input type="checkbox"/>	\$200	Comm., Indus., Mixed Use, Res 5+ Units (\$25,001 - \$150,000)	<input type="checkbox"/>	\$50	Subdivision Final Plat Approval
<input type="checkbox"/>	\$300	Comm., Indus., Mixed Use, Res 5+ Units (\$150,001 - \$350,000)	<input type="checkbox"/>	\$40	Boundary Line Adjustment
<input checked="" type="checkbox"/>	\$400	Comm., Indus., Mixed Use, Res 5+ Units (\$350,000 +)	<input type="checkbox"/>	\$40	Fences / Walls
<input checked="" type="checkbox"/>	\$175	Development Review Board Fee	<input type="checkbox"/>	\$30	Certificate of Compliance
<input type="checkbox"/>	\$20	Temporary Structure	<input type="checkbox"/>	\$15	Temporary Cert of Compliance (+\$10/mo up to an additional 12 mo.)

¹ If more than one category applies, the higher fee is required of all checked.

ZONING PERMIT FEE TOTAL:

Subtotal application fee from above: \$ ~~400~~ ¹⁷⁵ + \$15 recording fee = \$ ~~415~~ ¹⁷⁵

This is an application for a local permit only. Other Permits may be NECESSARY. Please contact the Vermont Dept. of Public Safety at (802) 479-4434 for permitting requirements.

11/14/22: I contacted Downstreet to exchange the check for just the DRB fee for now, and will ask for the zone permit fee upon a positive DRB outcome.

Downstreet Housing & Community Development
Barre City--City of Barre
Print As: City of Barre

6 North Main St
Barre, VT 05641

26101
Northfield Savings
CVCLT Admin OP: 5241
Date: 11/15/22

Date	Bill #	Reference Number	Location	Amount Entered	Amount Paid
11/15/22	11/15/22	Permits for Ward 5 Site Design			
1562-Soft Cost - Permit	Permit application Ward 5 Site Design	Granite City PD	Project Development	\$175.00	\$175.00
Net Amount					\$175.00

Downstreet Housing & Community Development
22 Keith Ave., Suite 100
Barre, VT 05641

Northfield Savings
Northfield Savings Bank

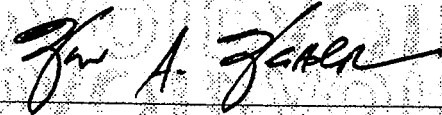
26101
Date: 11/15/22

58-7268/2116

Pay One Hundred Seventy Five Dollars

\$175.00

Pay to the Order of
City of Barre
6 North Main St
Barre, VT 05641
United States



⑈026101⑈ ⑆211672683⑆

6010035241⑈

Janet Shatney

From: David Frothingham <dfrothingham@wilcoxandbarton.com>
Sent: Wednesday, November 2, 2022 5:08 PM
To: Janet Shatney
Subject: Bromur Street and 4 Humbert St.
Attachments: Ward 5 Zoning Permit Application.pdf; Bromur Zoning Permit Application Form.pdf; Bromur Site Plan.pdf; Ward 5 Site Plan.pdf

Good Afternoon Janet,

I am writing to confirm the zoning review and fees for two applications that I am working on with Granite City Apartments/ Downstreet housing. These are project we have discussed in the past when the projects were in the feasibility stage. Since our last conversation the project scopes have been finalized and we are ready to proceed with local permitting.

4 Humbert St: The change of use of a former school that has most recently been used by the Barre Housing for Authority. Granite City Apartments is proposing to change the use to 9 residential units (Multi-family) and changes to the site layout. Site work includes paving the parking lot, developing and outdoor open space and replacing the sewer and water services to the building. I understand this project requires conditional use review and approval by the DRB. What will the fee be?

1&2 Bromur St.: This project scope includes the redevelopment of the parcel drives, parking and pedestrian facilities. Pedestrian improvements include new sidewalks, a new patio area, new playground area stairs between the upper and lower portions of the site. The scope also includes the relocation and reconstruction of Bromur St within the City right of way. There is a small addition proposed to 1 Bromur Street for additional mechanical space. There are also new stairs and ramps proposed to 2 Bromur Street to provide ADA access to the building. The project does not propose any changes to the number of units or number of bedrooms, though is a reconfiguration of the unit within 2 Bromur to provide and ADA accessible unit. Does this project require DRB review? If so, is it only site plan review? Please confirm the fee.

I have attached the project Zoning application forms as well as project site plans for your reference.

Thank you

David L. Frothingham III, P.E.

Senior Civil Engineer

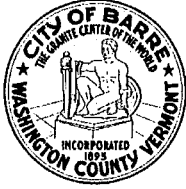
WILCOX & BARTON, INC.
Civil * Environmental * Geotechnical

1115 Route 100B Suite 200 (UPS FedEx only)
PO Box 750
Moretown, VT 05660



Office: (802) 496-4747, x524
Cell: (802) 461-6828
Fax: (603) 369-6639
Toll Free: (888) 777-5805
dfrothingham@wilcoxandbarton.com
www.wilcoxandbarton.com





City of Barre, Vermont

“Granite Center of the World”

Permitting Office in City Hall ~ 6 N Main Street, Suite 7, Barre, VT 05641

CONDITIONAL USE REVIEW FORM

Conditional Use Review: The purpose of Conditional Use Review is to ensure that proposed development will not have undue adverse effects on the neighborhood, environment, and public infrastructure, facilities or services.

This form supplements the Zoning Permit Application. Please provide all of the information requested in all applications forms. We urge you to read the Zoning Regulations and familiarize yourself with them. Failure to provide all the necessary information may cause a delay in processing this application. Please use additional paper if necessary.

The proposed use or structure shall conform to the standards and requirements in Article 4306, Conditional Use Review of the Unified Development Ordinance, and meet any other applicable requirements. The proposed use or structure will not adversely affect:

1. Does the dimensional standards of the proposed development conform to the standards of the applicable district or of *Subpart 130 Nonconformities* if a pre-existing nonconformity? Explain:

The existing lot exceeds the minimum lot size of 4,000 sf and the existing building meets the district setbacks.

2. Will there be any off-site impacts of the proposed development that will exceed the levels established in *Section 3105 Performance Standards?* (*Purpose, Noise, Glare, Odors, Vibration, Electrical or Radio Interference, Waste and Material Storage, Particulate Matter and Airborne Solids and Flammable, Toxic or Hazardous Substances and Waste.*)

The proposed change of the use to multi-family residential will not exceed the Performance Standards in Section 3105. The residential use is consistent with the surrounding uses.

3. Does the proposed development provide safe and adequate access and circulation that conforms to the standards of *Sections 3002 Access and 3010 Driveways?* Explain:

The project proposes to use the existing curb cut from Belvedere Street. The existing curb cut and driveway are 15' - 16' wide with a maximum slope of 15% for approx 25' then reduces to less than 3% in the parking areas and around the building. The existing topography of the parcel prevents the construction of a new driveway in another location with conforming slopes.

4. Will the proposed development provide sufficient parking and loading areas that conform to the standards of *Section 3104 Parking & Loading Areas*? Explain:

The proposed development of 9 units (7 single bedroom units and two 2-bedroom units) requires a minimum of 10 parking spaces. 12 spaces, including 1 ADA space, are provided. All parking spaces are 9'x18' and are served by 20' aisle.

5. Does the proposed development provide exterior lighting where necessary for public safety and to facilitate nighttime use that conforms to the standards of *Section 3102 Lighting*? Explain:

New site lighting is proposed. Building mounted lights will include new LED lights over the doors and along the building to illuminate the ADA access ramp. See included lighting plan.

6. Will the proposed development include landscaping, screening, and buffers to add visual appeal and mitigate off-site impacts that conform to the standards of *Sections 3020 Riparian Buffers and 3101 Landscaping*? Please List:

No new landscaping is proposed. The visual impacts of the project will not be changed by change of use of the building. The perimeter of the parcel are very steep slopes and over head utilities which preclude the installation of trees. The open space will be provided a perimeter of shrubs and pedestrian amenities.

7. How will the proposed development implement appropriate erosion control and stormwater management practices that conform to the standards of *Sections 3104 Parking & Loading Areas and 3021 Stormwater Management*?

The changes to the site design of the parcel reduces the impervious area of the site by 11% (1,643 sf). The down gradient edges of the parking areas are proposed to be equipped with a stone diaphragm to collect and infiltrate stormwater runoff. The project will result in a reduction in the rate and quantity of runoff from the site.

8. Signs for the proposed development will conform to the standards of *Section 3106 Screening*. Please give dimensions and placement:

A new sign is proposed for the site, please find attached a drawing of the new sign. The sign is proposed to be located in the same location as the existing sign along the driveway.

9. The proposed development will conform to city (or state, if applicable) specifications for construction of necessary improvements (streets, sidewalks, driveways, utilities, etc.), to city (or state, if applicable) building codes, and to city (or state, if applicable) standards for emergency service access. Please provide detail:

The proposed conform to city standards for the construction of new water and sewer connections. Emergency vehicles will have access to 80% of the building perimeter. The configuration of the existing lot and building location prevent access to 100% of the building perimeter. Building access will conform the ADA requirements.

10. How will the demand for water supply, wastewater, educational and municipal services to serve the proposed development be reasonable and not create an undue adverse effect upon the capacity existing or planned community facilities?

The project will require additional water and sewer allocation from the City, a request for the allocation will be submitted upon DRB approval.

11. How will the proposed development be compatible with and how will it not create undue adverse effects on the character of the neighborhood as defined in *Paragraph 5003.C(2) Definitions, Character of the Neighborhood*?

The change of use from office space to multi-family residential will make the building more compatible with the character of the neighborhood. The surrounding properties are mostly residential in use with one industrial use. The industrial use is located on an adjacent street and significantly lower in elevation to the parcel's neighborhood and does contribute to the character of the area.

12. Will the traffic generated by the proposed development affect the capacity of or create congestion or unsafe conditions on streets, highways and intersections in the vicinity?

The increase in traffic from the change of use will not have undue adverse impact on the surrounding street network. The building is currently used for storage by the Barre Housing Authority and therefore generates very little traffic. The nine residential units can be expected to contribute ~12 trips to the AM and PM peak traffic volumes and ~30 trips per day.

13. How will the proposed development avoid, minimize and/or mitigate (listed in order of preference) undue adverse effects on significant natural resources and environmental quality?

The project involves the redevelopment of an existing site within a developed area of the city. The project will reduce the impervious area of the site and reduce stormwater runoff. There are no identified significant natural resources on the site.

November 4, 2022

Janet Shatney
City of Barre
6 N. Main Street, Suite 7
Barre, VT 05641

**Re: Old Ward 5 School—4 Humbert Street, Barre City, Vermont
Site Development Assessment**

Dear Ms. Shatney,

Please find enclosed a Zoning permit application and Conditional Use application for the renovation of the Old Ward 5 School building to Multi-Family Housing.

Overview

The Old Ward 5 School building is located on a 0.54 acre (23,522 sf) +/- parcel at 4 Humbert Street. The parcel also has frontage on Comolli St. and Belvidere St. The parcel is currently developed with a 4,590 sf (footprint) building which most recently housed the offices of the Barre Housing Authority.

Zoning Analysis

The subject parcel is located within the Mixed Use 2 (MU-2) zoning district and the Historic Structure Overlay District. The uses and dimensional standards of the Historic Structure Overlay district are the same as the underlying district. Multi-Family housing is a conditional use within the MU-2 District. The front, side and rear setbacks are 8', 8' and 12' respectively. This lot is considered a corner lot with frontage on three streets; therefore, the setbacks are 8' on all sides (no rear setback on a corner lot). The existing building conforms to the setbacks, though the ramp on the south side of the building is within the side yard setback. Any building additions would need to comply with the setbacks, or a waiver be sought from the Development Review Board (DRB). The DRB may grant of waiver of up to 10% of a dimensional standard.

The MU-2 district allows a maximum residential density of 1 unit per 2,700 sf of lot area. Therefore, a maximum of 9 units are permitted on this lot. Section 3012.B of the Barre City Unified Development Ordinance specifies that a studio or efficiency unit be a minimum of 150 sf, a 1-bedroom unit shall have a minimum 220 sf. Units with more than 1-bedroom shall be a minimum of 220 sf plus an additional 70 sf for each additional bedroom. Section 3012.C (3) (b)

states that “Any dwelling unit within a multi-family building containing less than 3 bedrooms must either have utility connections for a washing machine and clothes dryer within the unit or there must be a common laundry room in the building with washing machines and clothes dryers accessible to residents.” Common laundry facilities are provided.

Multi-Family Dwellings are also subject to section 320 Specific Use Standards, sub-section 3201 Multi-Family Dwellings. This section applies to “Existing buildings undergoing a major renovation that will increase the number of dwelling units and results in 5 or more units in the building”.

Sub-section 3201.B Open Space- 1) There must be at least 400 square feet of common open space per dwelling unit that meets the standards below. The Development Review Board may reduce or waive this requirement upon the applicant demonstrating that the building is located within a ½- mile walk of public recreation area that will be accessible to residents via sidewalks or multi-use paths. Common open space must:

(a) Be located in one or more areas conveniently accessible to building residents, and no area may be less than 30 feet in any dimension;

(b) Be designed with seating areas and other passive recreation facilities to be shared by all residents;

(c) Be landscaped with trees, shrubs, groundcover and/or ornamental plants; and

(d) does not apply, the building does not have unit with 3 more more bedrooms.

The site is required to have 400 sf of open space per unit; 3,600 sf for the 9 units allowed in the existing building. Based on the existing site topography, existing building location and required parking only 2,200 sf of open space is available. A variance or waiver for the reduction in open space is requested. There is one playground within ½ mile that meets the waiver requirements.

Sub-Section 301.C Bulk Storage - Each dwelling unit must include a secured, enclosed bulk storage area at least 30 square feet in area and not less than 4 feet in any dimension for the exclusive use of unit. This requirement may be waived or reduced for existing buildings and buildings undergoing rehabilitation only. The required storage is provided the building.

Sub-section 301.E Bicycle Parking - Multi-unit residential buildings must provide residents with at least one, conveniently accessible, secure and covered bicycle parking or storage space per unit. Applicants may demonstrate that this requirement will be met by providing bulk storage or structured parking that is adequately sized and configured to accommodate a bicycle. Bicycle storage is provided at the rear of the building..

Access (Section 3010 Driveways & Section 3002.D Curb Cuts)

The site is accessed through an existing curb cut on to Belvidere Street near the intersection with Blackwell Street. The existing drive is approximately 12 ft wide with a slope of 15% and the existing curb cut is approximately 16 ft wide. City of Barre regulations requires that driveways accessing single lots that are less than 350' long have a minimum width of 9 ft and a maximum slope of 12%. The existing drive meets the width and curb cut requirements.

Parking (Section 3104 Parking & Loading)

The City of Barre parking regulations require 1 space for every single bedroom unit and additional 0.2 spaces for each additional bedroom in a unit. For example, a 3-bedroom unit would require 1.4 parking spaces. The nine units (7 single bedroom & 2 two-bedroom) would require a total of 10 parking spaces. Functionally, we would recommend including a few extra spaces for visitors or two car families. Parking spaces are required to be 9' x 18' with a 20' access aisle. The site currently has room for 12 parking spaces, including one ADA space, that meet the above dimensional requirements. 8 spaces to north of the building and 4 spaces to the south.

Wastewater

The existing building is served by an existing service connection to the City of Barre municipal sewer system. The sewer line from the building to the street was scoped and located on December 4, 2020 by Wind River Environmental. The sewer leaves the building below the existing 4" cast iron cold air vent in the basement. After the house trap the sewer line transitions to a 6" clay tile pipe and follows the drive out to a sewer manhole in the intersection of Belvidere Street and Blackwell Street.

The sewer scope was advanced as far down the pipe as possible. The alignment of pipe is in good condition with minimal displacement at the joints. Root intrusion through the joints in the clay tile piping prevented the scope from be advanced more than 90' from the building. Root intrusion was observed through most pipe joints beginning approximately 30' from the building and continuing to the end of the scoped section. It can be assumed that the root intrusion extends down to the street as the sewer lines in under a heavily vegetated area adjacent to the drive. Please see the included site plan for the sewer location. The sewer line was installed in the same trench as the domestic water service line. We recommend replacing the existing sewer line with a new 6" SDR 35 PVC piping along the same alignment.

A 9-unit building would typically be served by a 6-inch service. The existing sewer allocation from the City of Barre could not be determined. Given the age of the building it likely does not

have an existing allocation or state permit. Assuming 7 one-bedroom units and 2 two-bedroom units, the parcel will require a total allocation of 1,260 gpd.

Water Supply

The existing building is served by two connections to the City of Barre water system: a 2-inch domestic service connection and an 8-inch fire suppression connection. The route of both lines is shown on the included site plan. The shut-off for the domestic line could not be located. The 8-inch fire suppression line is equipped with a gate valve at the connection to the City main. The domestic water service riser and the sewer service riser enter the building in the same location and were installed in the same trench. We would recommend replacing the water service to a new location at least 10' from the sewer service as required by the State of Vermont Water Supply and Wastewater rules. The service sizes are adequate assuming adequate pressure in the municipal system.

Stormwater Management

The existing parcel has an area of 0.54 acres and an existing impervious cover of 0.34 acres for a total coverage of 63%, less than the 80% maximum allowed in the zoning district. The City of Barre zoning regulations require any expanded or redeveloped impervious area be treated in accordance with the public works specifications with Green Infrastructure best management practices. The project proposes to reduce the impervious cover by ~1,600 sf and pave the existing gravel drives and parking areas. No significant regrading is proposed.

The development pattern and topography of the parcel leave limited locations for stormwater management. The required stormwater treatment system would need to be subsurface, an infiltration chamber or filter system. The feasibility of such system would need to be confirmed with test pits and infiltration tests.

Permitting

State of Vermont Wastewater – The change of use of the building to a 9-unit multi-family building will require a State of Vermont Potable Water and Wastewater Permit.

State of Vermont Water Supply – The project will not need a State of Vermont Water Supply Permit to construct unless a new fire hydrant is proposed to be installed.

Stormwater – The existing site has less than 0.34- acres and a total lot area of 0.54 acres. Redevelopment of the parcel will not exceed the 5,000 sf of new impervious area.. A State of Vermont Operational Stormwater permit will not be required for this project.

Act 250 – The existing development is not under the jurisdiction of Act 250. The creation of 9 units does not trigger Act 250 review.

Local Zoning – The Old Ward 5 building parcel is located within the Mixed use-2 zoning district. Multi-family uses are classified as a conditional use in this district. The proposed change of use to create 9-unit residential units will require Site Plan and Conditional Use review by the City of Barre Development Review Board.

City Water and Sewer Connection Permits – The replacement of the water and sewer services will require connection permits from the City of Barre public works department.

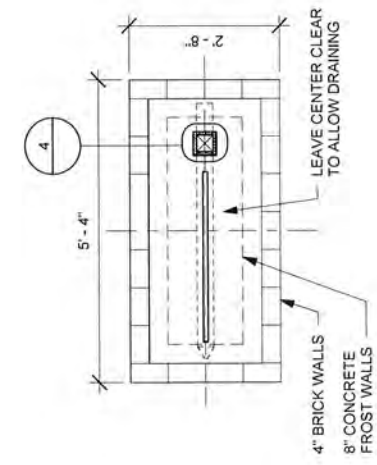
If you have any questions regarding this report, please do not hesitate to contact me at 802-461-6828 or dfrothingham@wilcoxandbarton.com.

Very Truly Yours

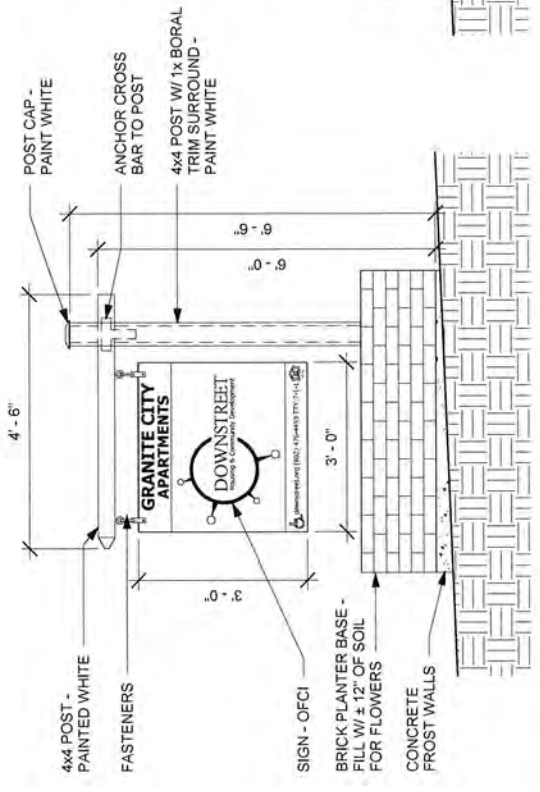
WILCOX & BARTON, INC.,



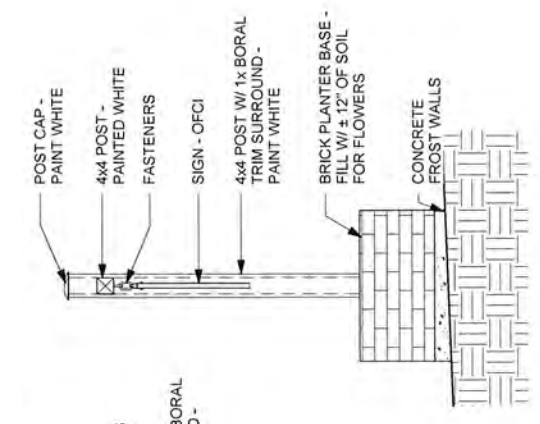
David L. Frothingham III, P.E.
Senior Civil Engineer



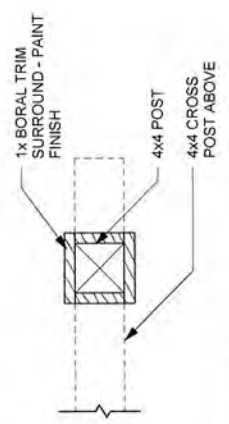
① SIGN & PLANTER - PLAN
1/2" = 1'-0"



② SIGN & PLANTER - ELEVATION 1
1/2" = 1'-0"

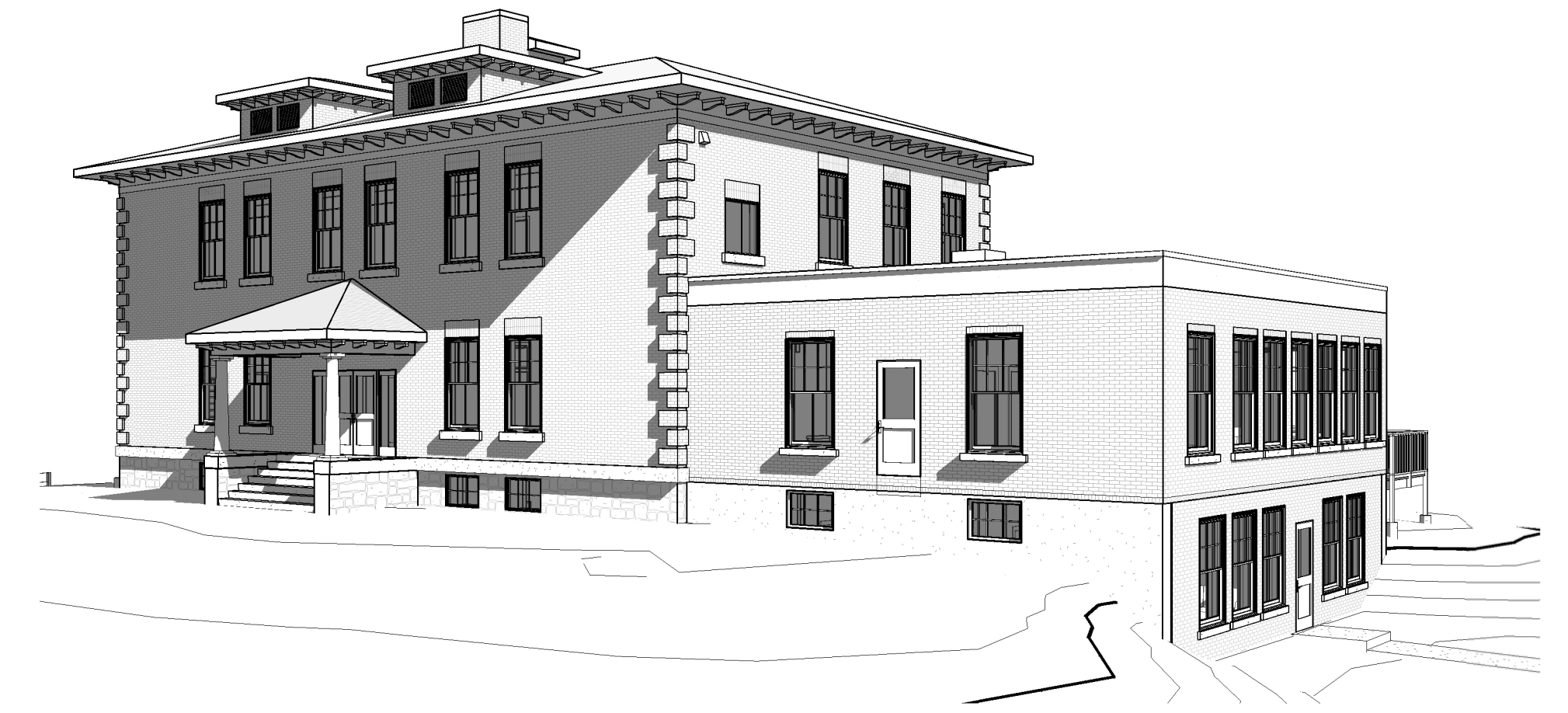


③ SIGN & PLANTER - ELEVATION 2
1/2" = 1'-0"



④ POST DETAIL
1 1/2" = 1'-0"

DOWNSTREET HOUSING & EVERNORTH GRANITE CITY APARTMENTS



PROJECT LOCATION:

**4 Humbert Street
Barre, VT 05641**

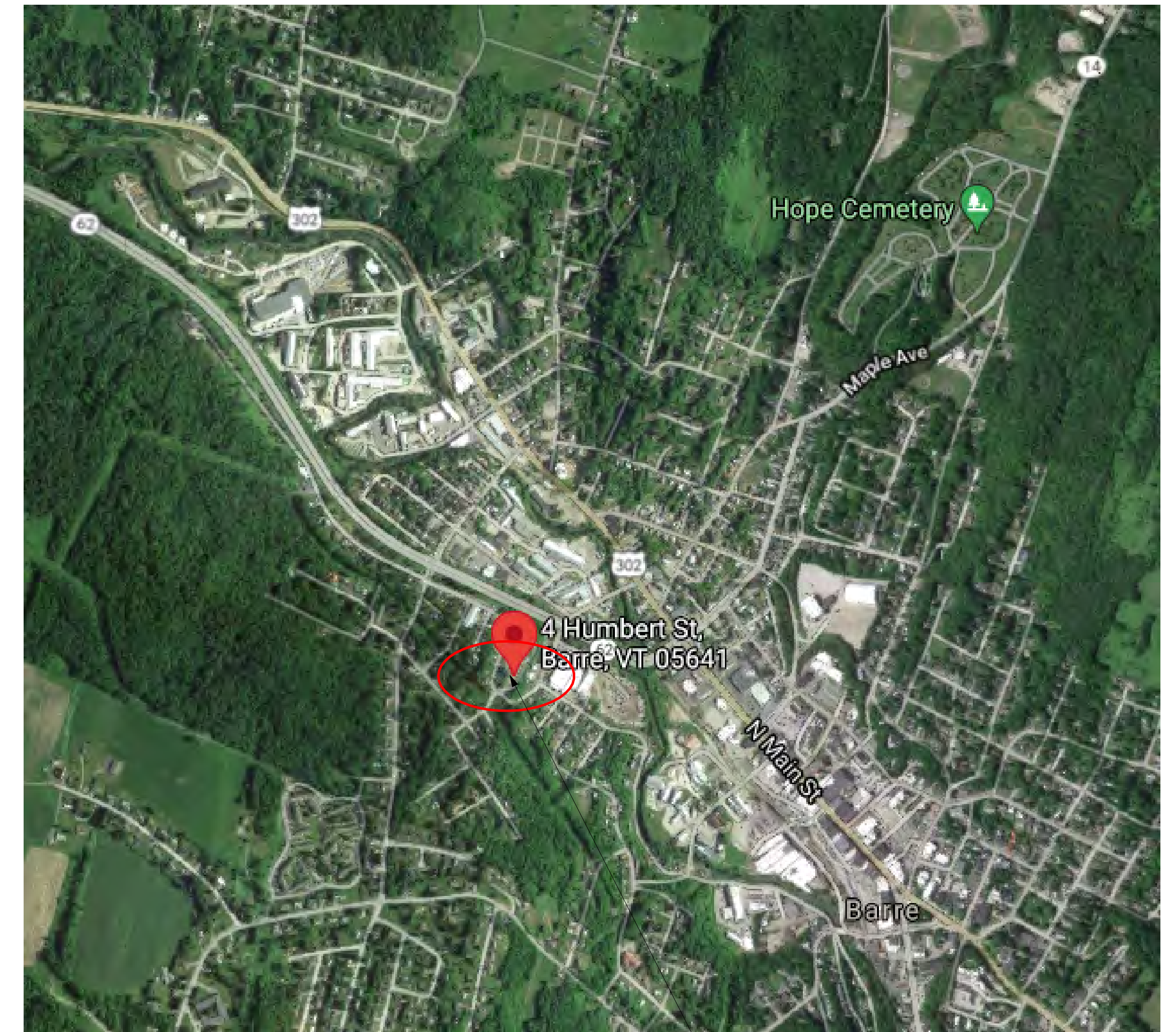
Co-Development Partners & Owner
Downstreet Housing & Community Development
22 Keith Avenue, Suite 100
Barre, VT 05641
P: (802) 476-4493
E: khaviland@downstreet.org
Contact: Kaziah Haviland

Evernorth
100 Bank Street, Suite 400
Burlington, VT 05401
P: (802) 863-8424
E:
Contact:

Architect
Scott + Partners, Inc.
7 Carmichael Street, Suite 102
Essex, VT 05452
P: (802) 879-5153
E: joel@scottpartners.com
Contact: Joel Page, AIA

DRAWINGS:

- GENERAL
- 0 COVER SHEET
- ARCHITECTURAL
- A1 SCHEMATIC SITE PLAN
- A2 DEMOLITION PLANS
- A3 DEMOLITION ELEVATIONS
- A4 PROPOSED BASEMENT PLAN
- A5 PROPOSED FIRST FLOOR PLAN
- A6 PROPOSED SECOND FLOOR PLAN
- A7 PROPOSED ELEVATIONS
- A8 PROPOSED SECTIONS
- SITE ELECTRICAL
- SP-1 SITE LIGHTING PHOTOMETRIC



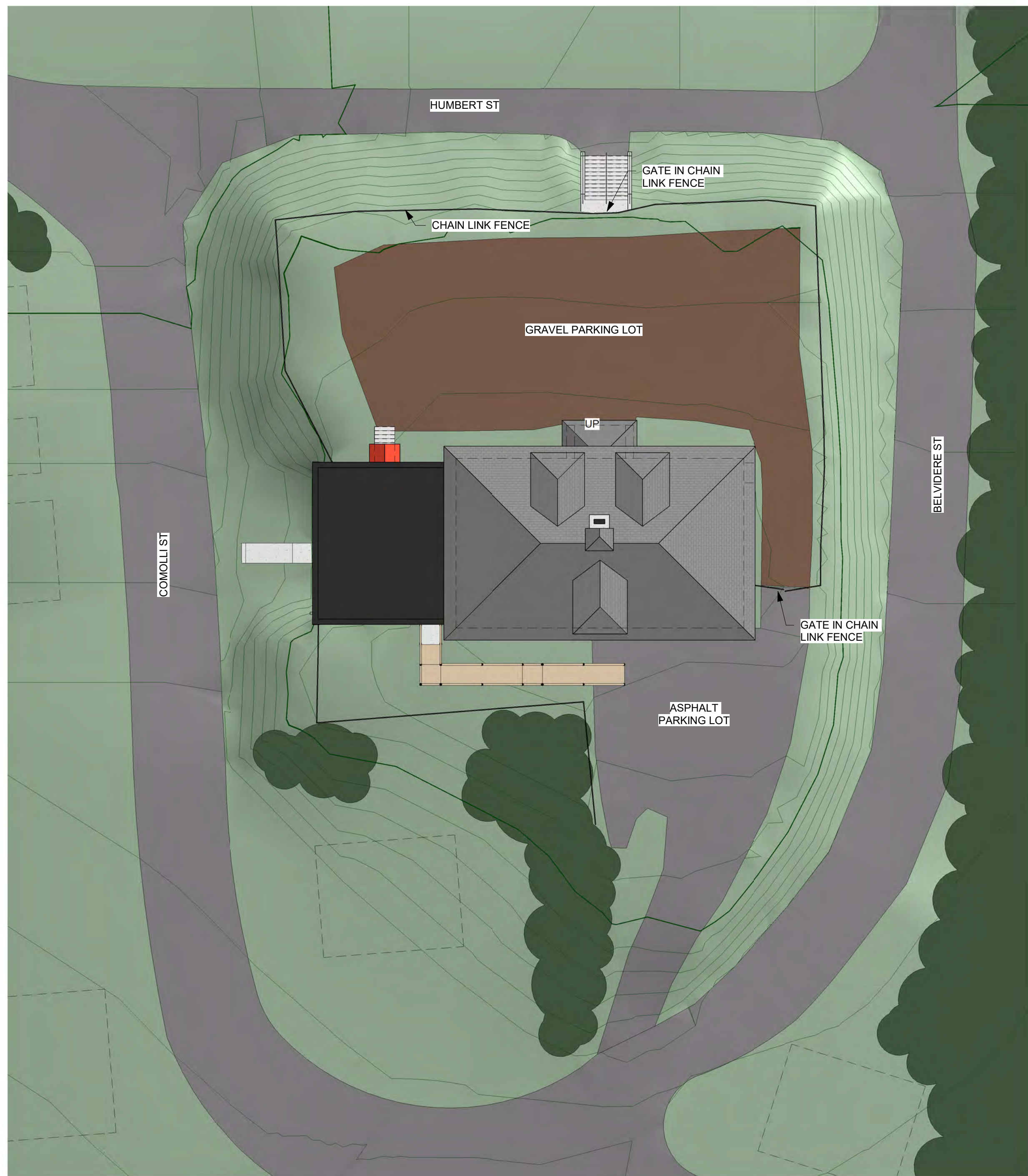
PROJECT LOCATION

GRANITE CITY APARTMENTS

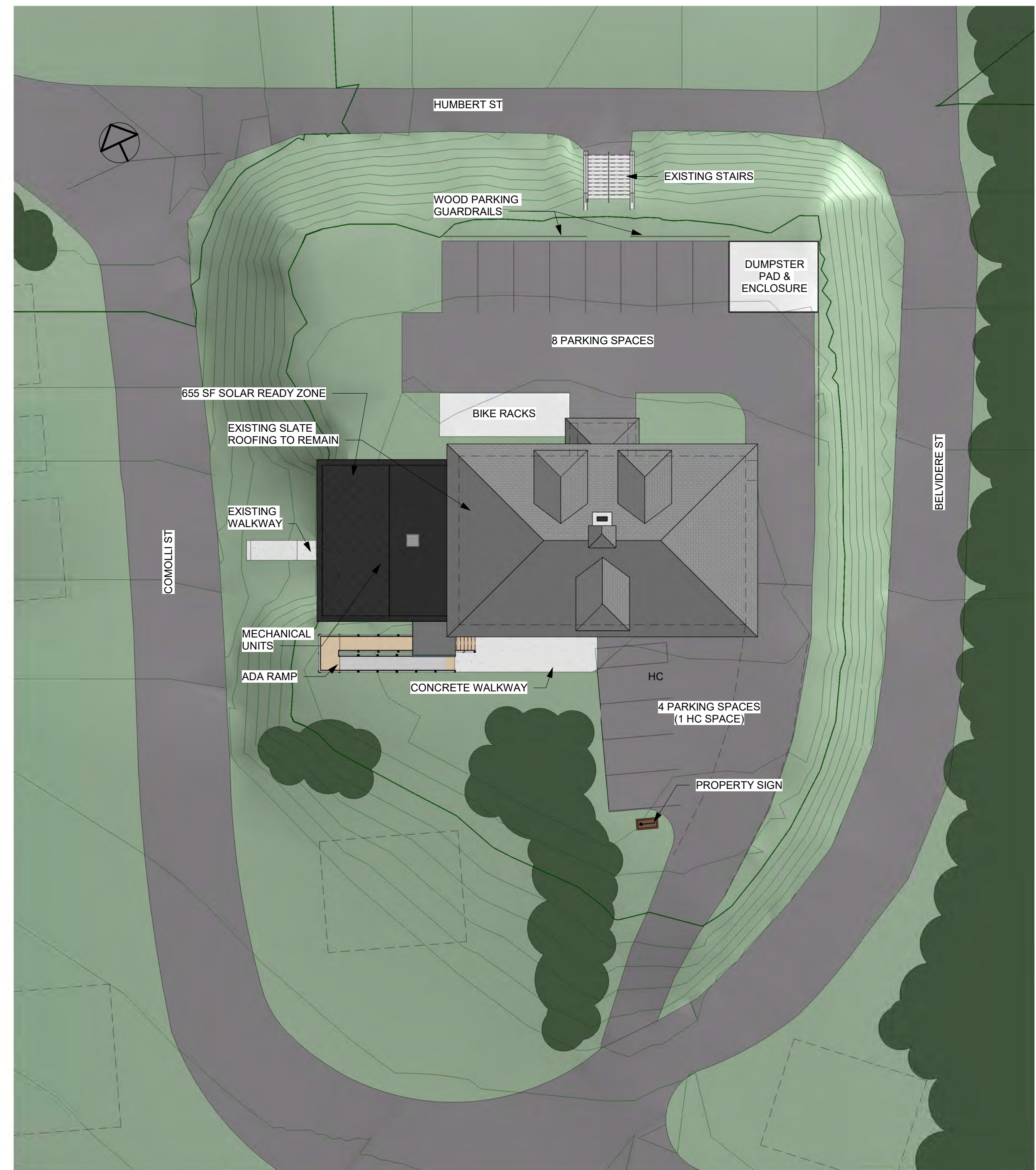
0

COVER SHEET

12/19/22

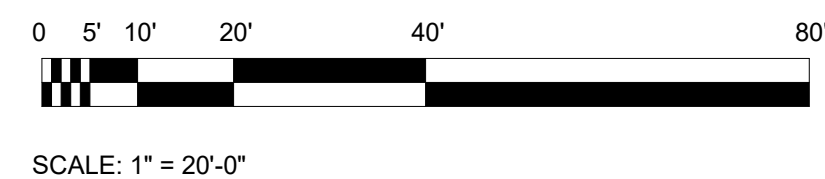
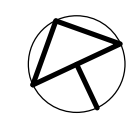


① EXISTING SITE PLAN
1" = 20'-0"



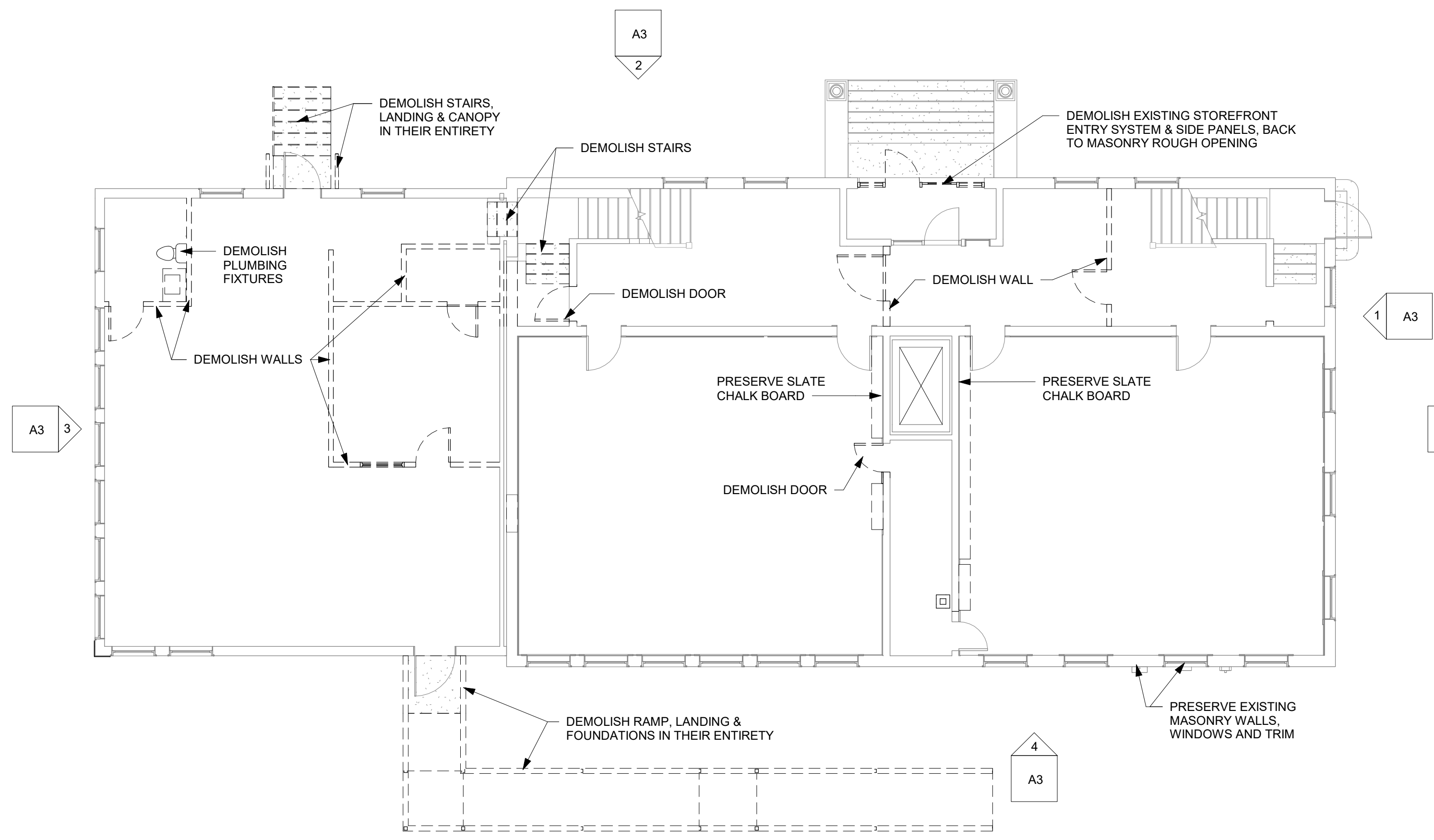
② SITE PLAN
1" = 20'-0"

GRANITE CITY APARTMENTS

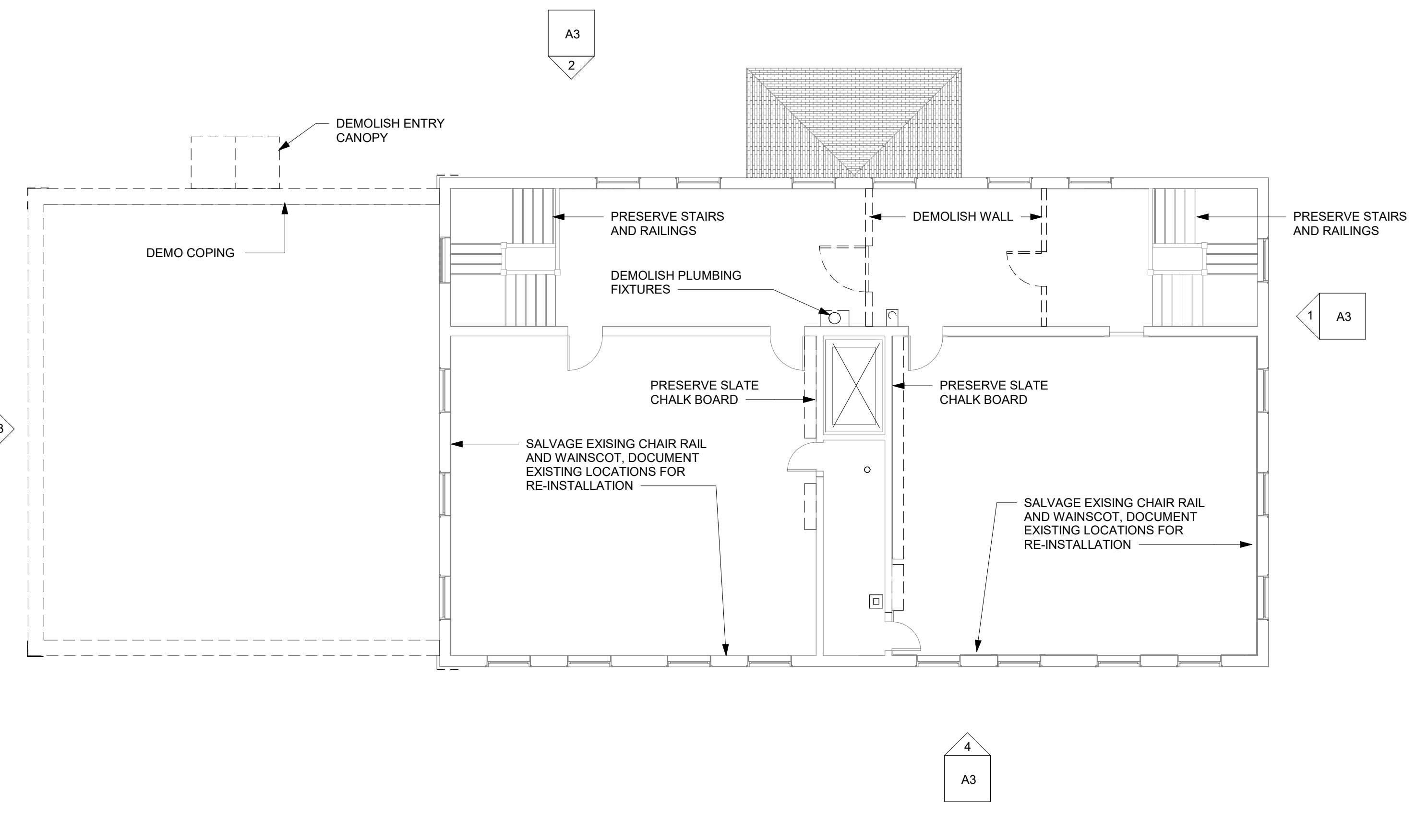


SCHEMATIC SITE PLAN

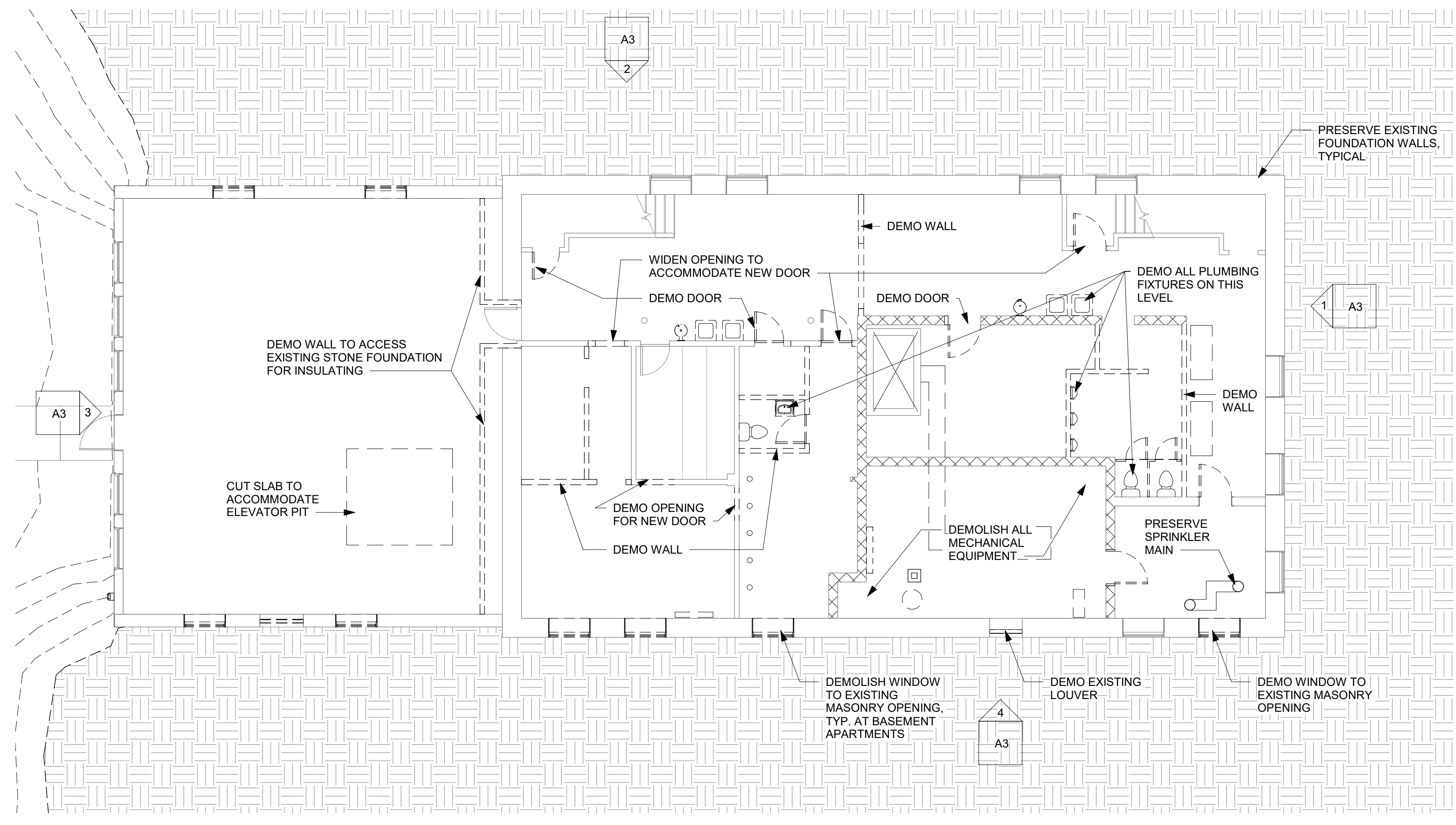
12/19/22



2 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

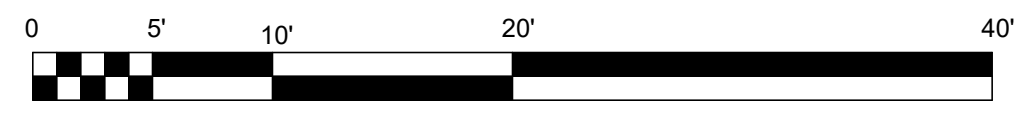
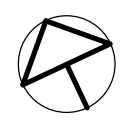


3 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"



1 BASEMENT DEMO PLAN
1/8" = 1'-0"

GRANITE CITY APARTMENTS

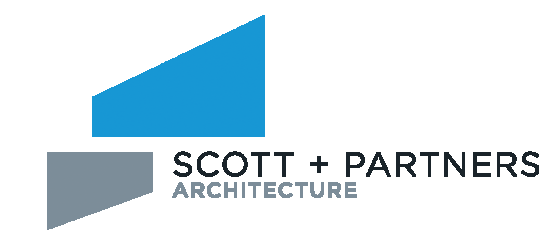


SCALE: 1/8" = 1'-0"

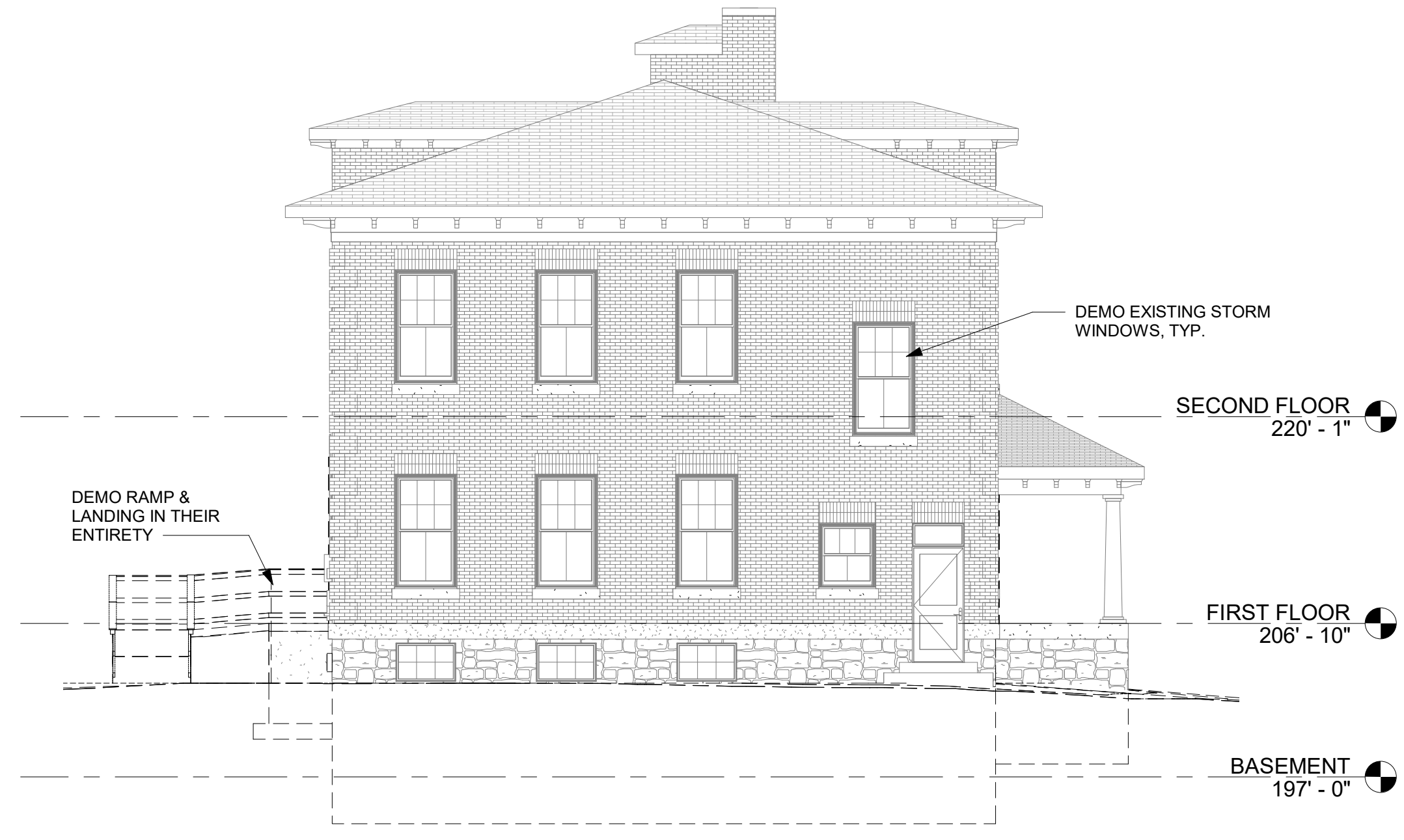
A2

DEMOLITION PLANS

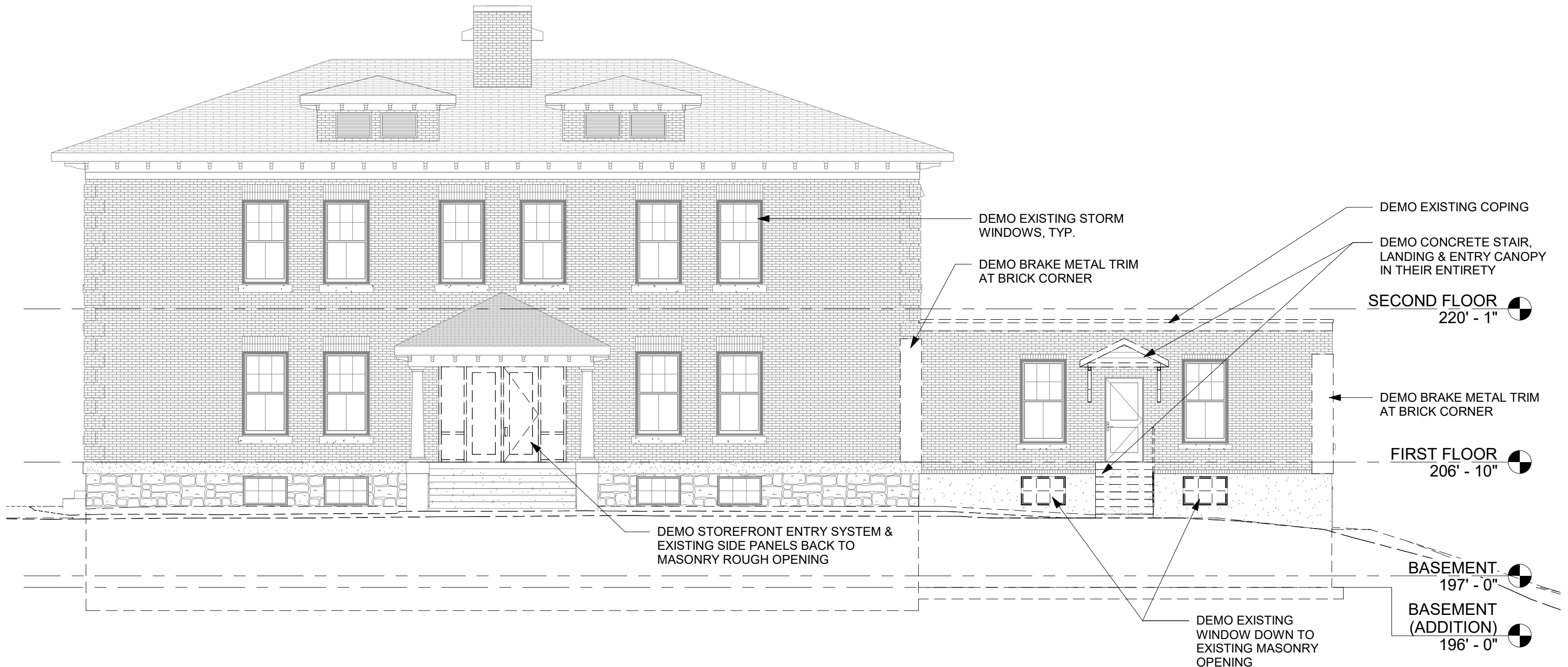
12/19/22



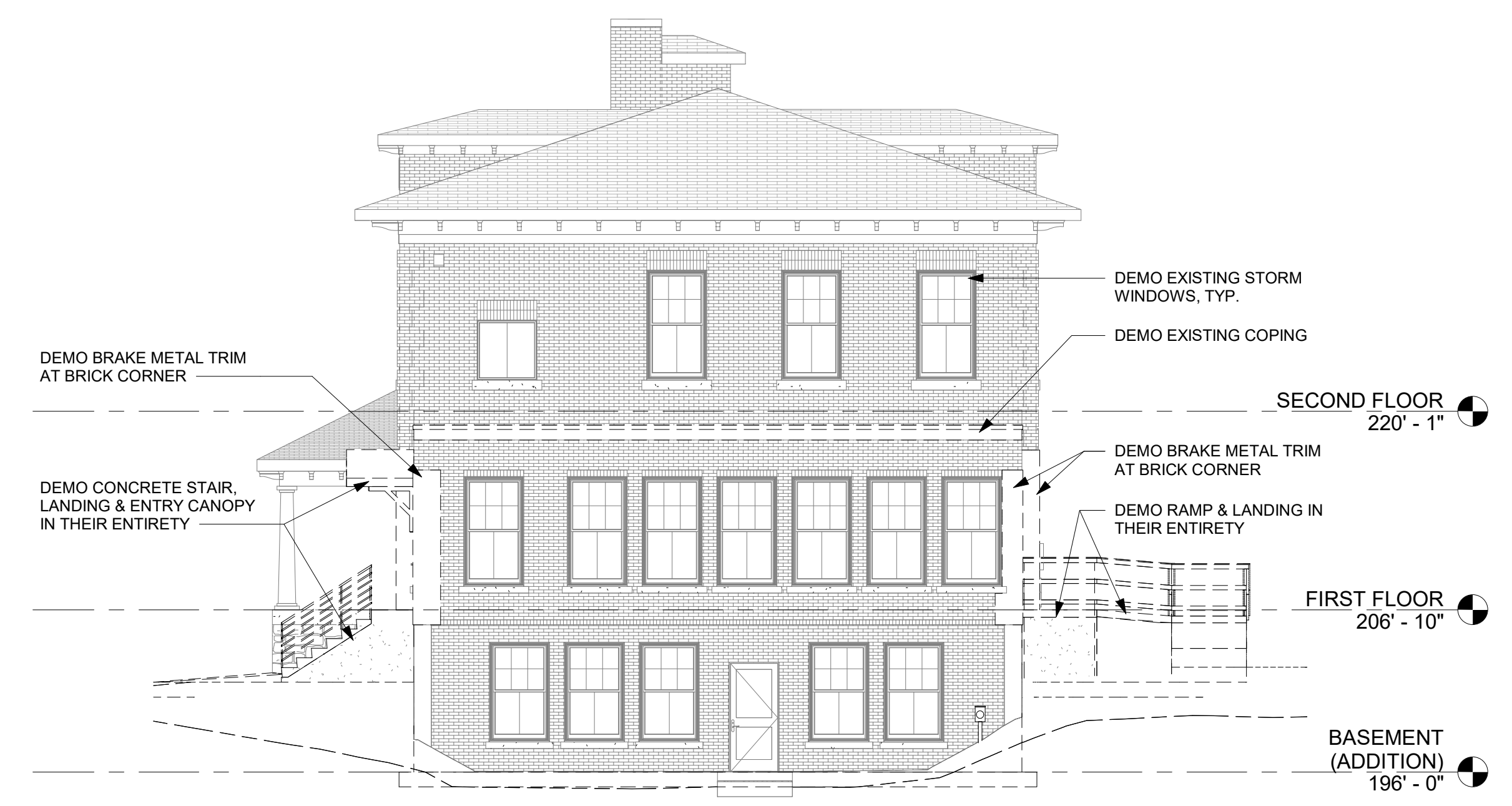
7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P. 802.879.5153
F. 802.872.2764
SCOTTPARTNERS.COM



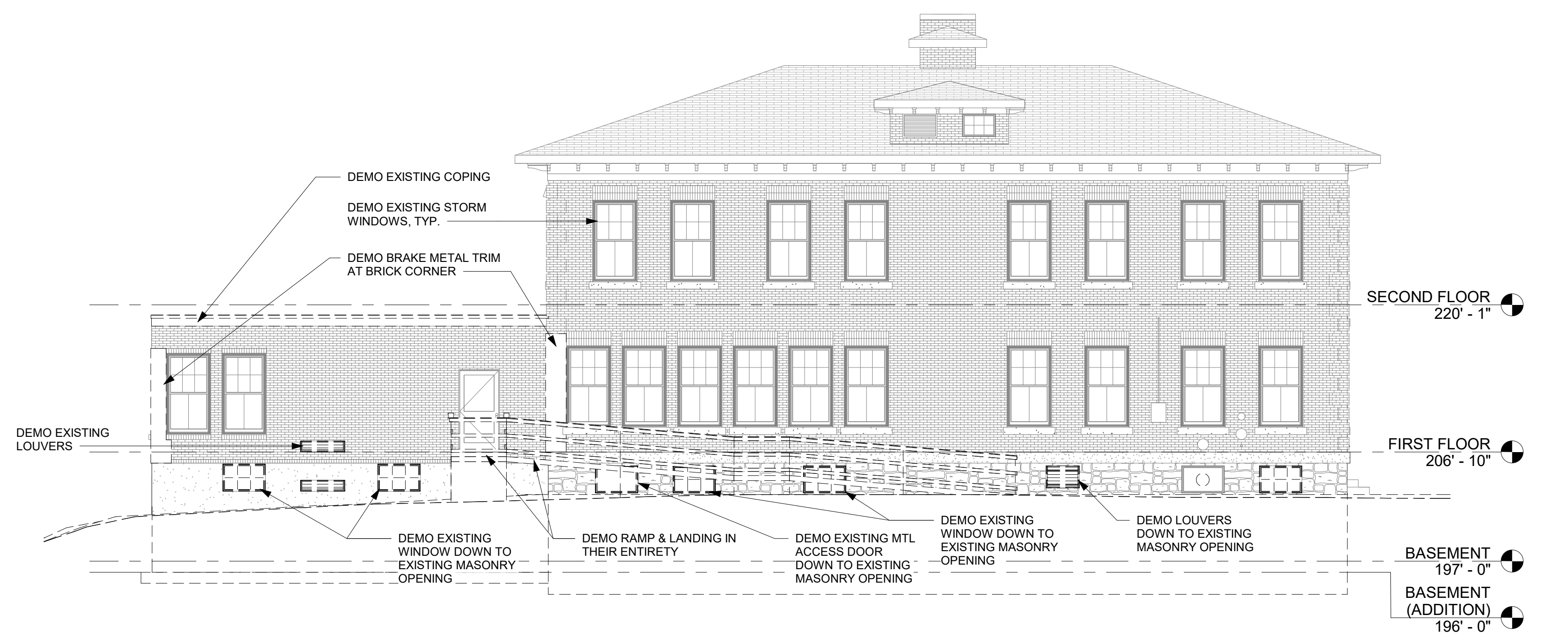
1 EXISTING EAST ELEVATION
1/8" = 1'-0"



2 EXISTING NORTH ELEVATION
1/8" = 1'-0"

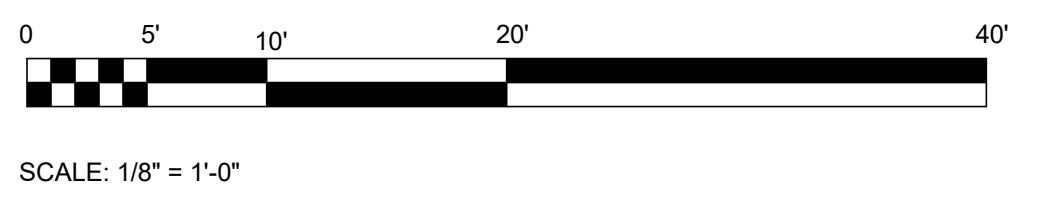


3 EXISTING WEST ELEVATION
1/8" = 1'-0"



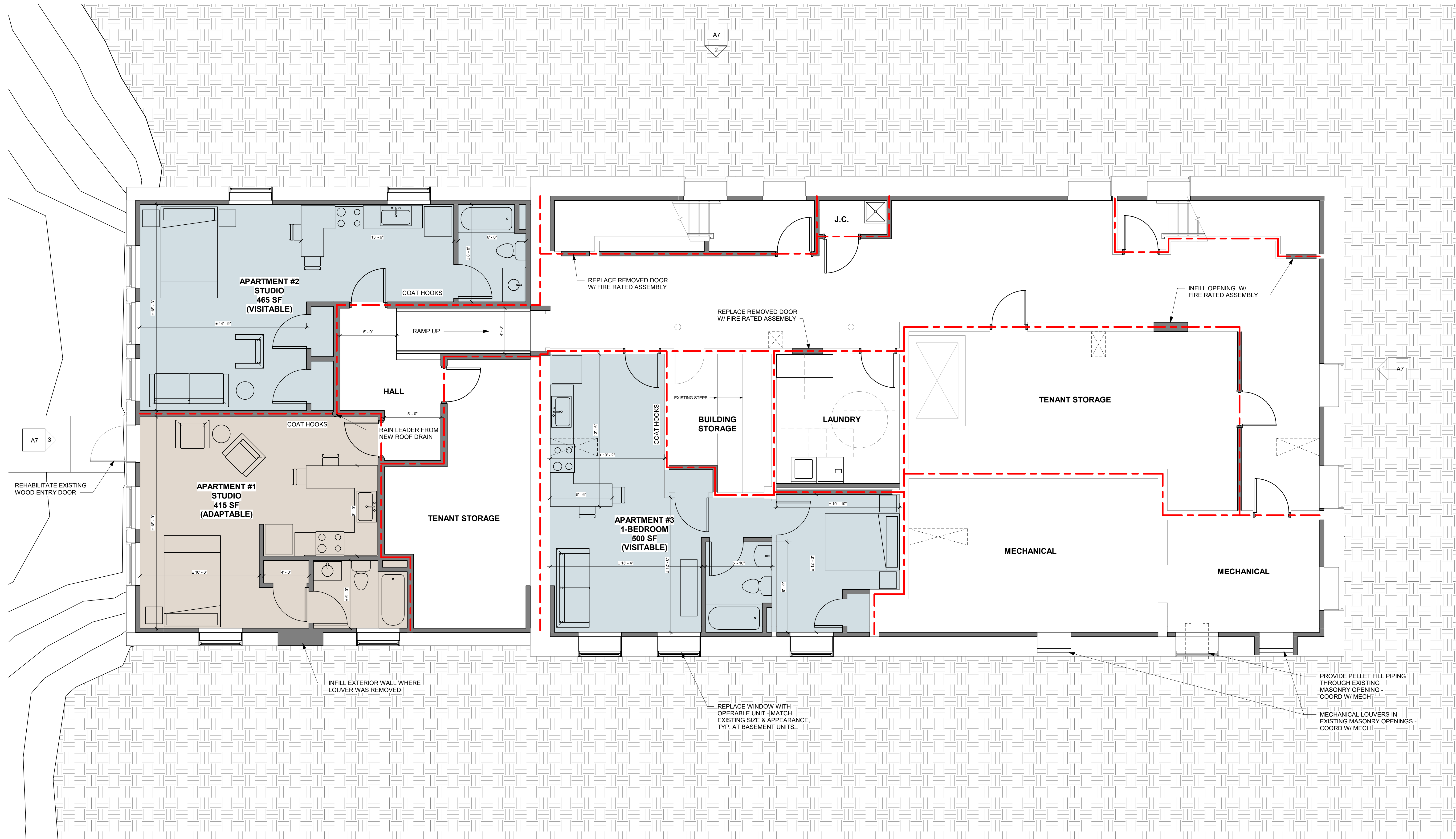
4 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

GRANITE CITY APARTMENTS



DEMOLITION ELEVATIONS

12/19/22



1 BASEMENT PLAN
1/4" = 1'-0"



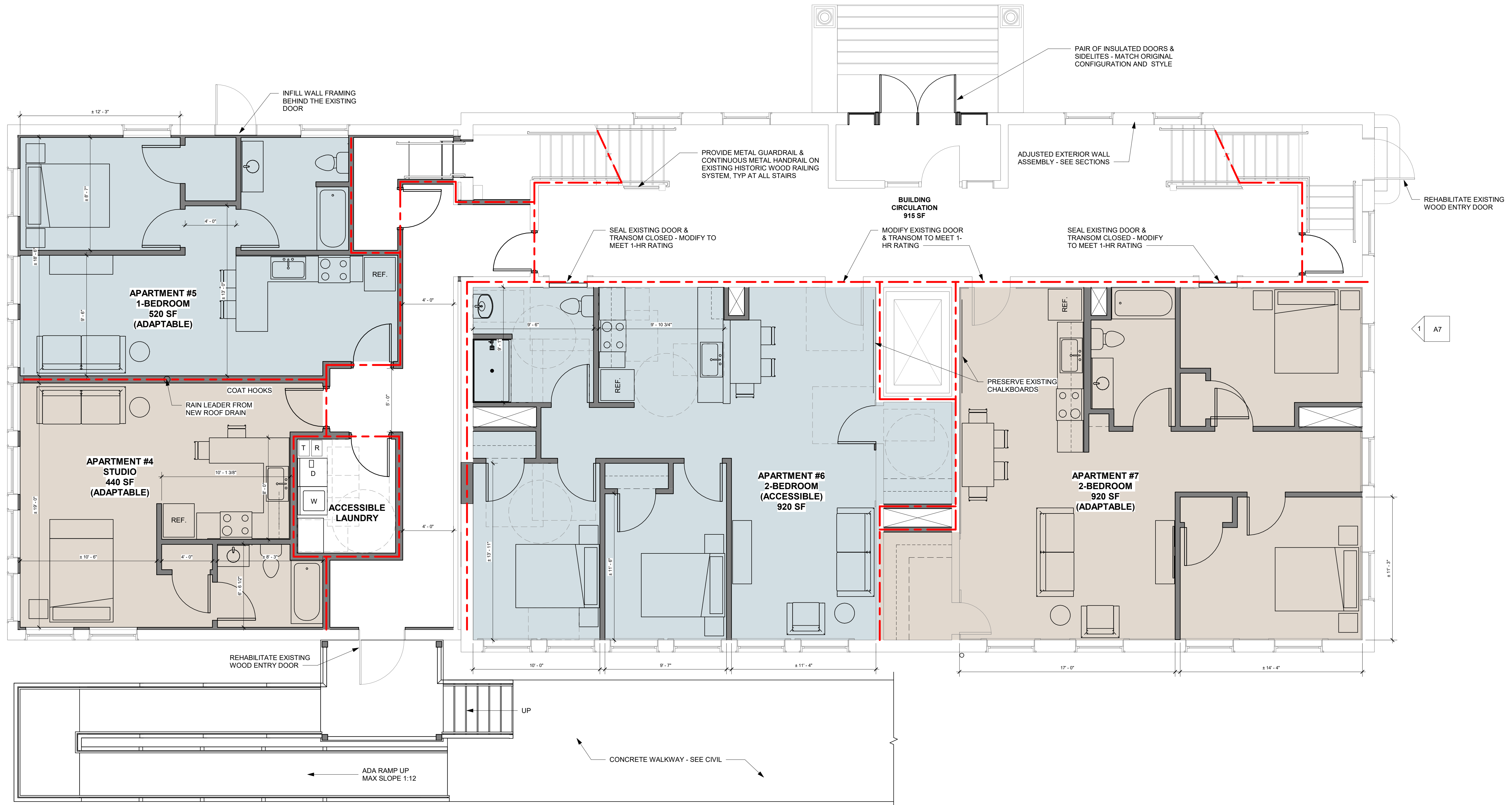
GRANITE CITY APARTMENTS

PROPOSED BASEMENT PLAN

12/19/22

A4

A7
2



1 FIRST FLOOR PLAN
1/4" = 1'-0"

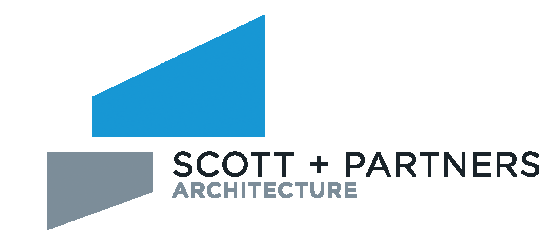


GRANITE CITY APARTMENTS

A5

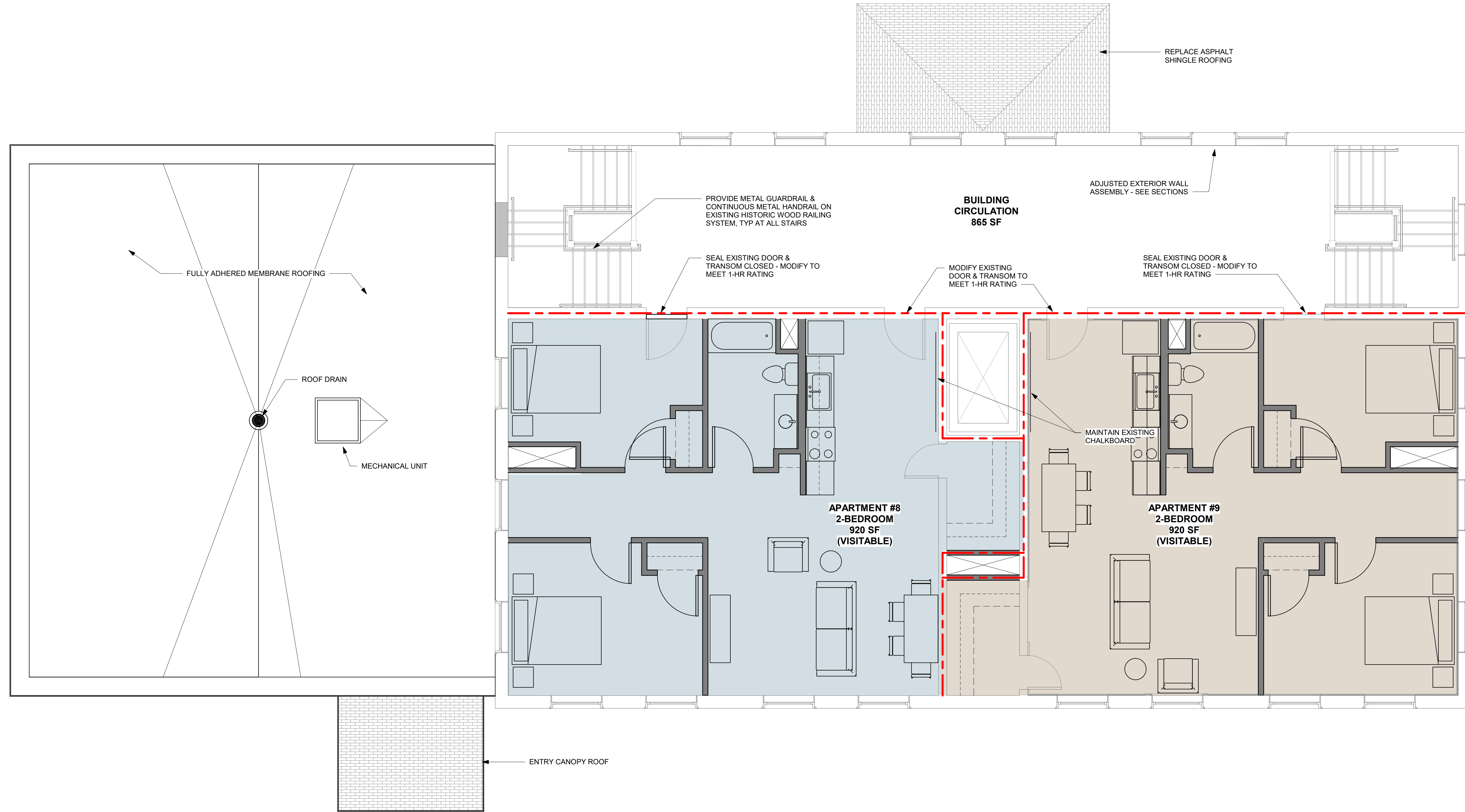
PROPOSED FIRST FLOOR PLAN

12/19/22



7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P: 802.879.5153
 F: 802.872.2764
 SCOTTPARTNERS.COM

A7
2



A7
3

1
A7

4
A7

1 SECOND FLOOR PLAN
1/4" = 1'-0"

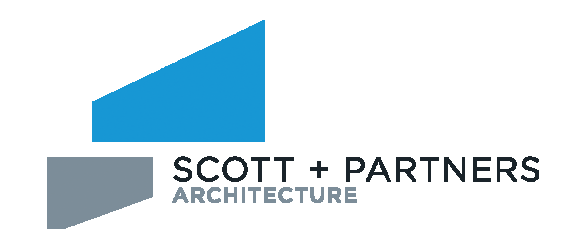


GRANITE CITY APARTMENTS

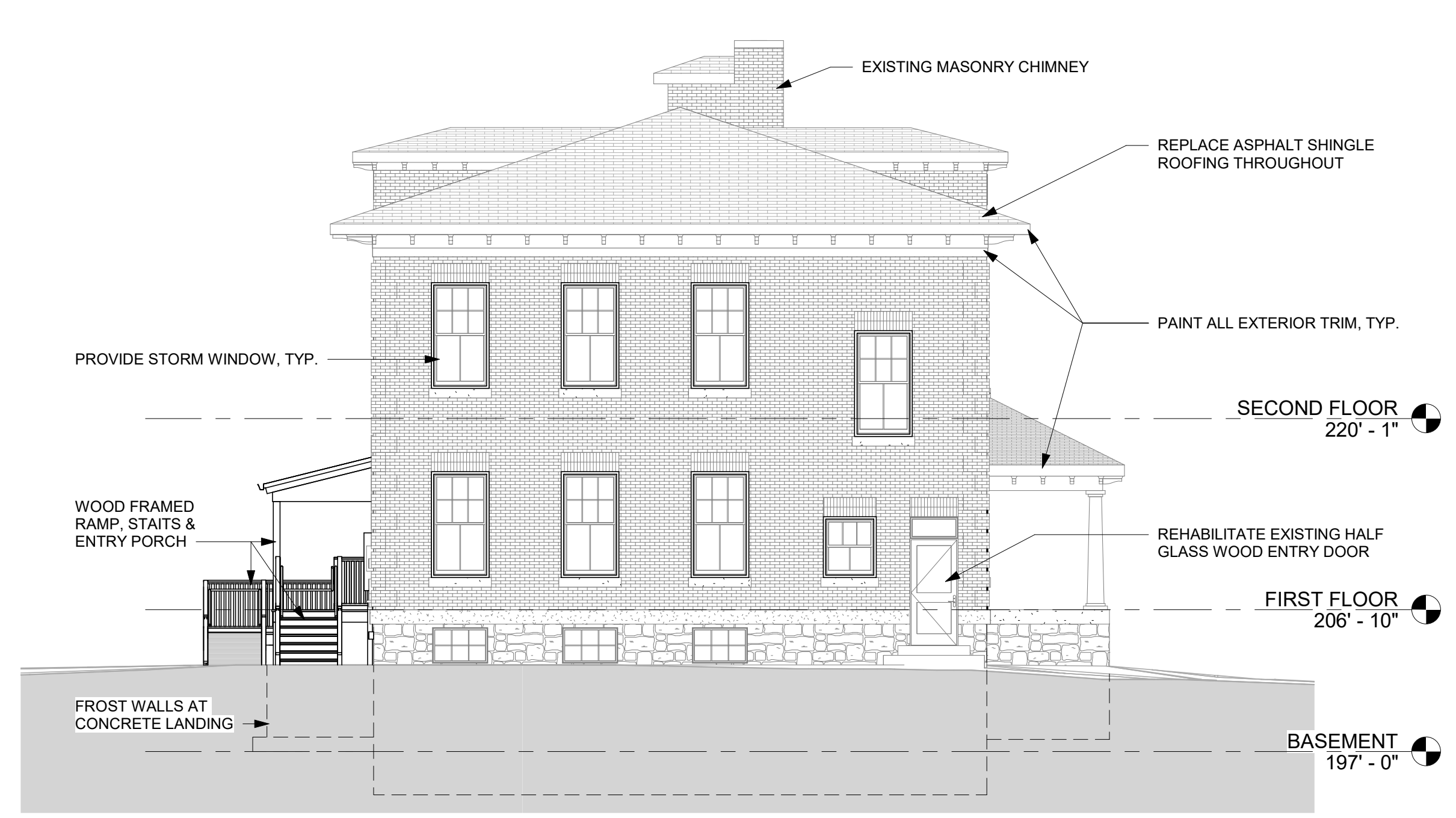
A6

PROPOSED SECOND FLOOR PLAN

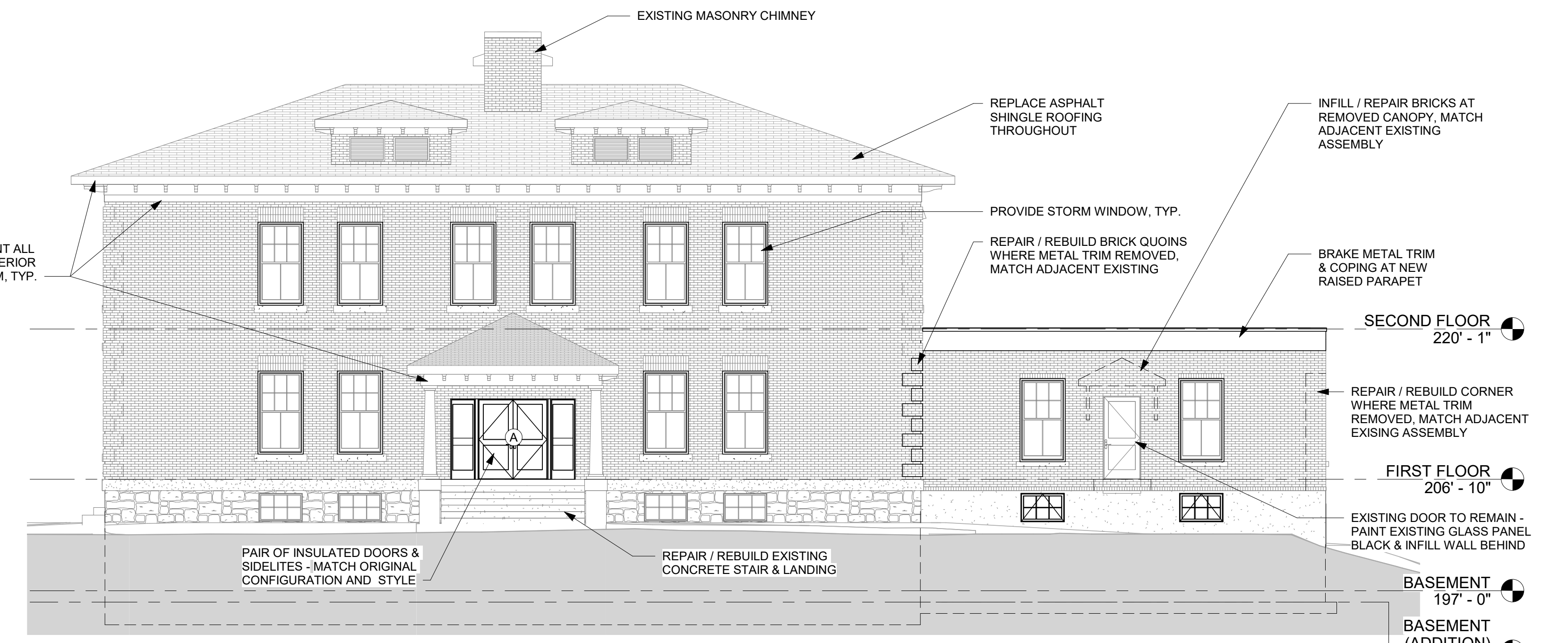
12/19/22



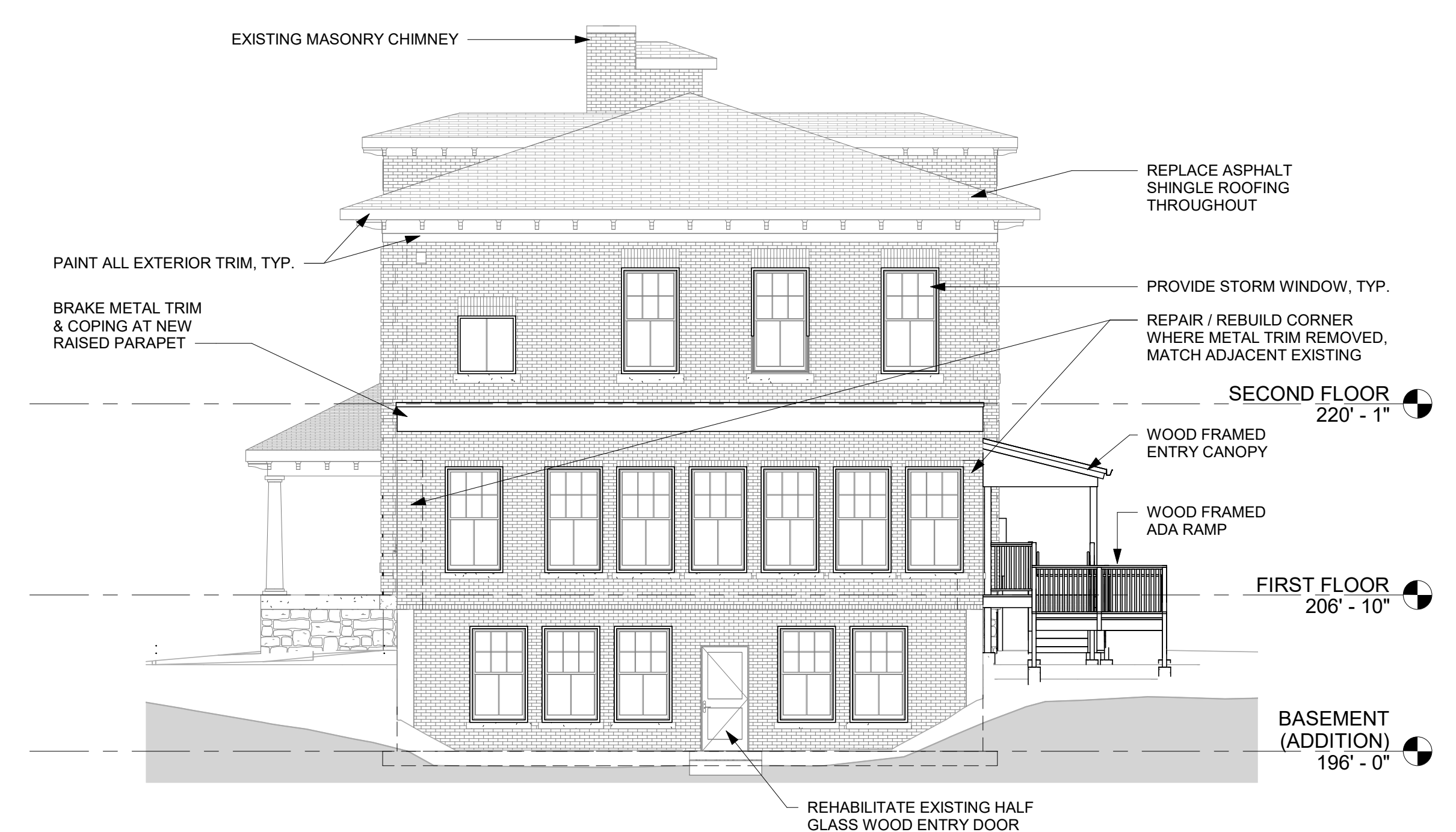
7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P. 802.879.5153
 F. 802.872.2764
 SCOTTPARTNERS.COM



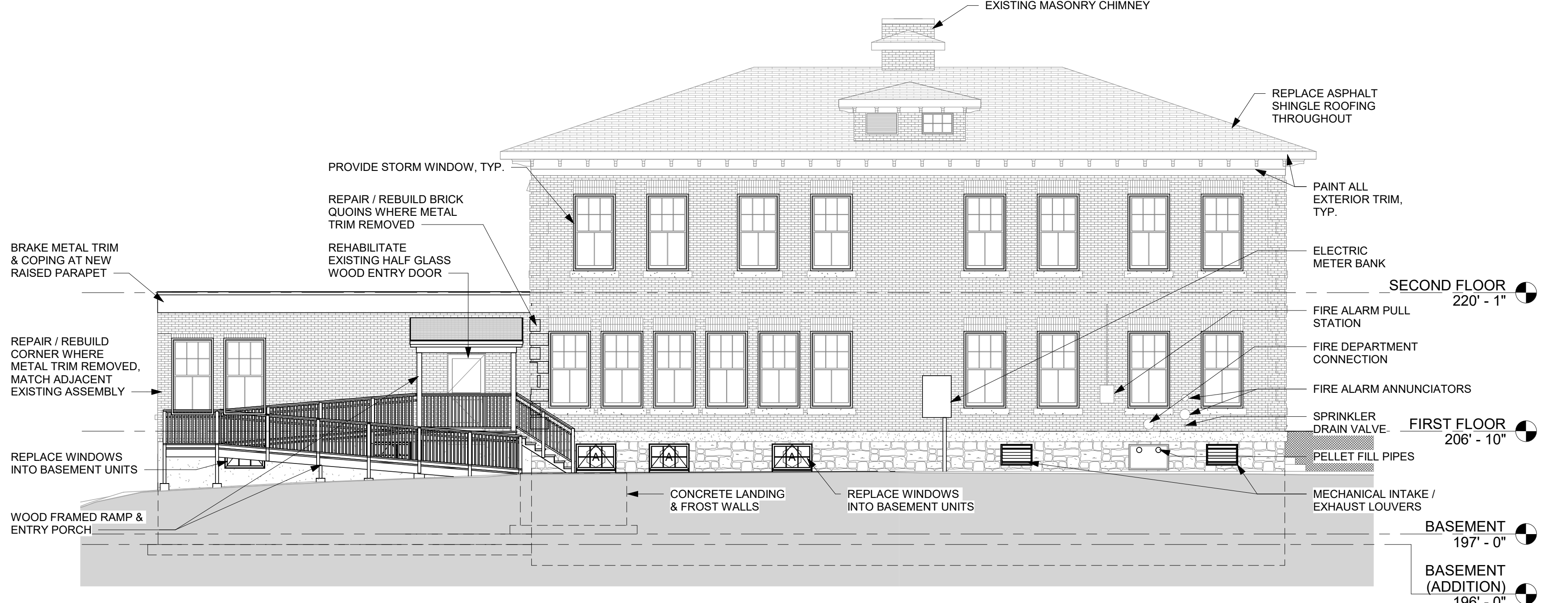
1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

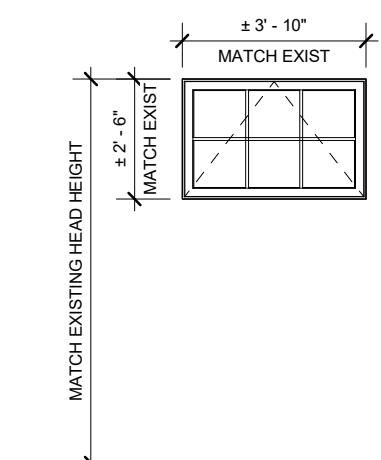


3 PROPOSED WEST ELEVATION
1/8" = 1'-0"

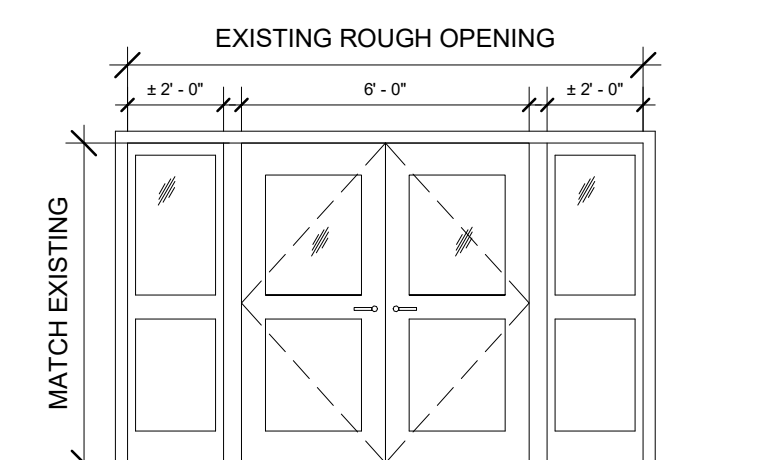


4 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

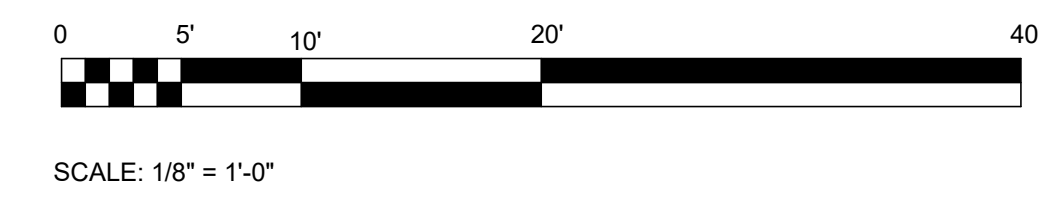
WINDOW TYPES



DOOR TYPES



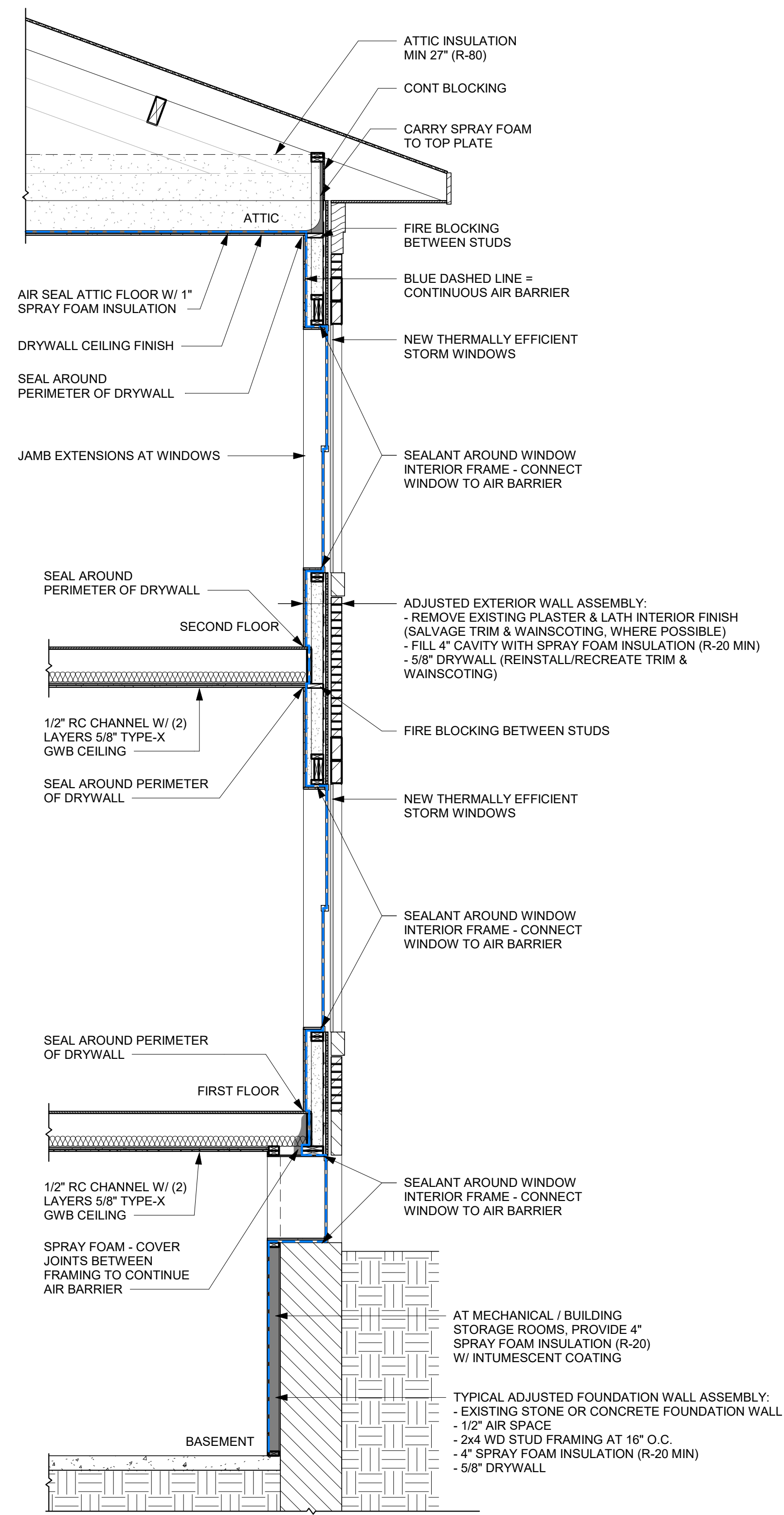
GRANITE CITY APARTMENTS



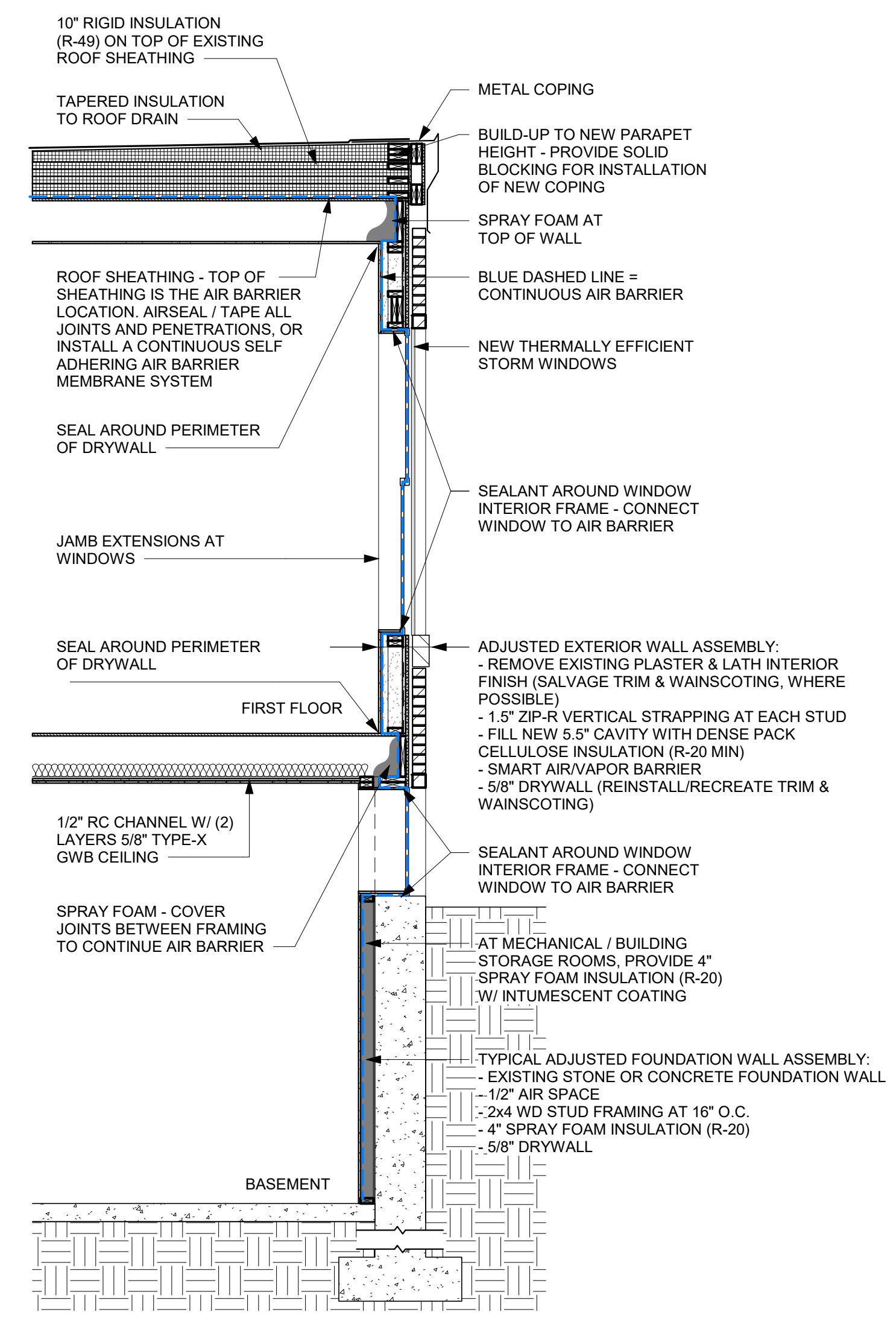
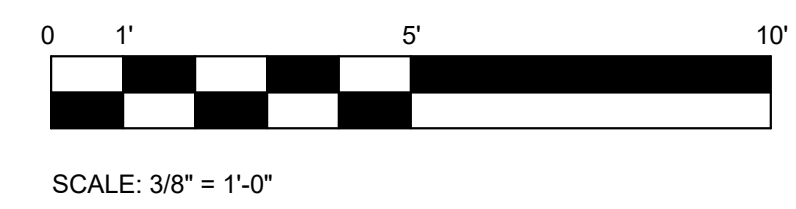
PROPOSED ELEVATIONS

12/19/22

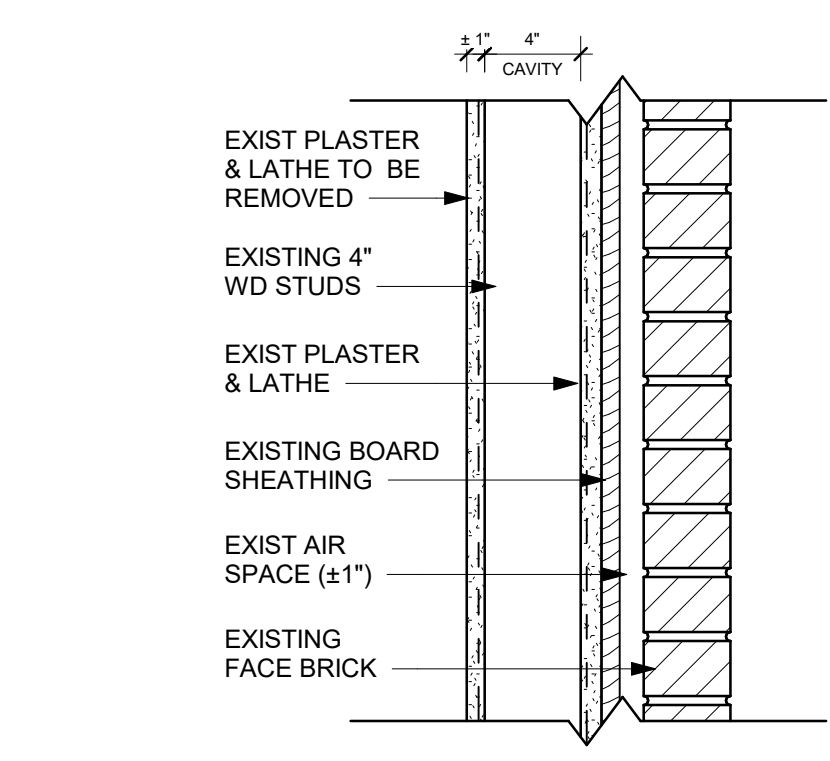
A7



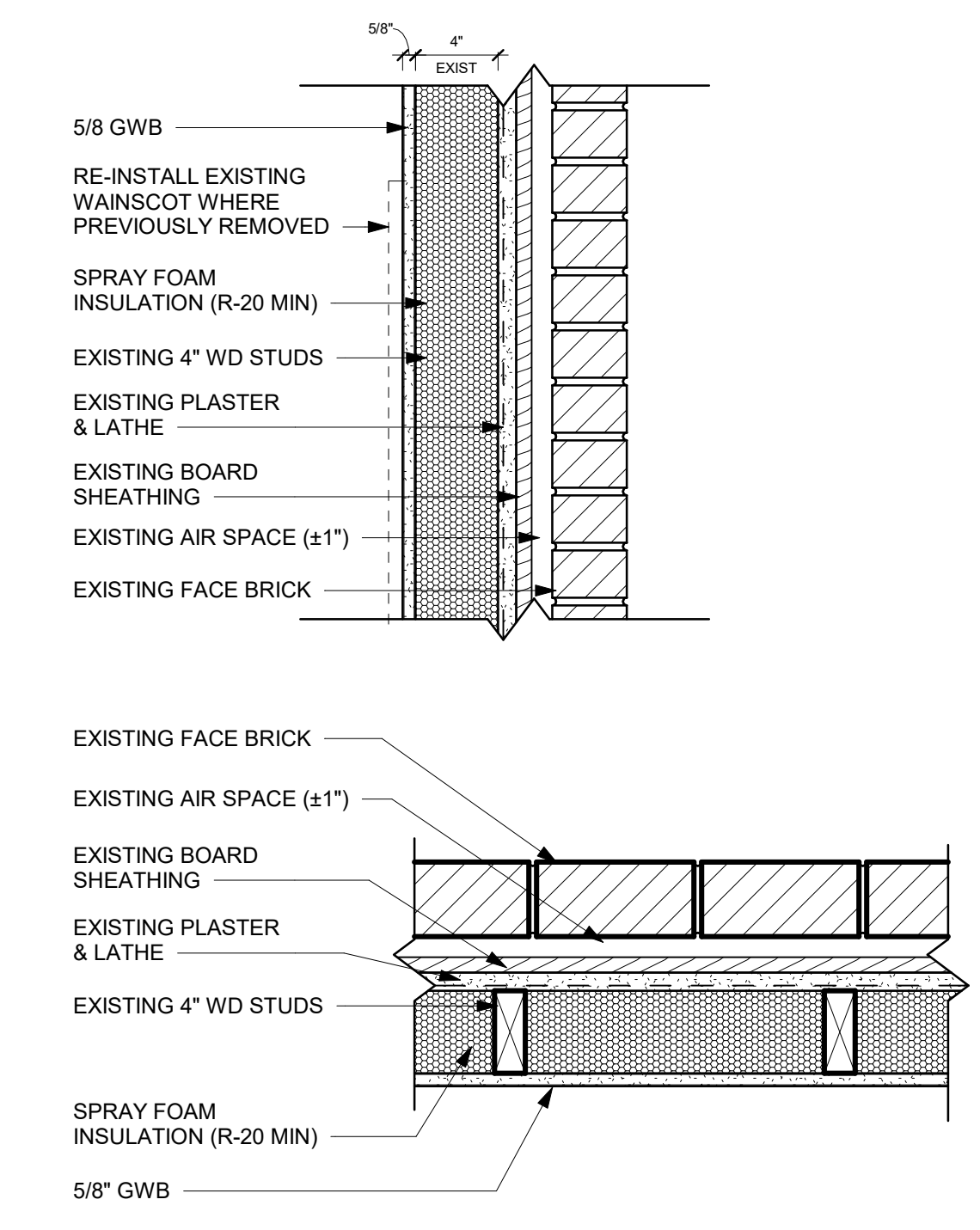
1 WALL SECTION AT MAIN BUILDING
3/8" = 1'-0"



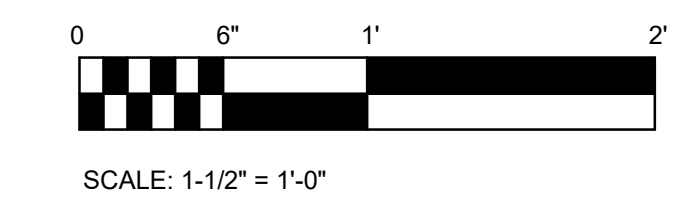
2 WALL SECTION AT EXISTING ADDITION
3/8" = 1'-0"



3 EXISTING EXTERIOR WALL ASSEMBLY
1 1/2" = 1'-0"



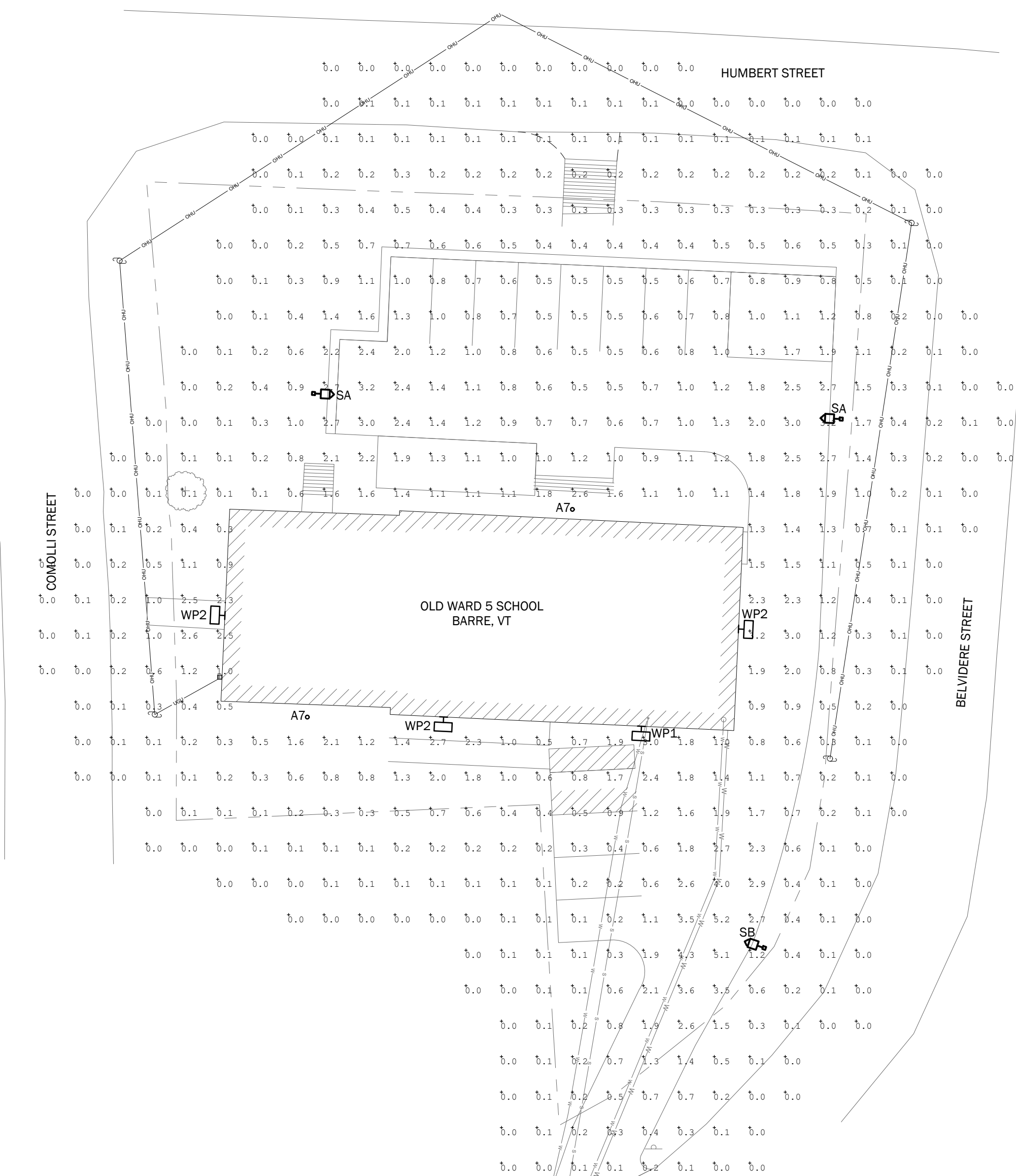
4 PROPOSED EXTERIOR WALL ASSEMBLY
1 1/2" = 1'-0"



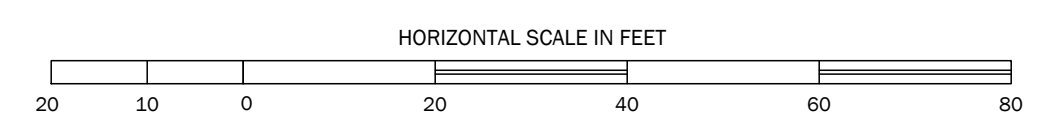
GRANITE CITY APARTMENTS

PROPOSED SECTIONS

12/19/22



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 20'



LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER & MODEL NO.	DESCRIPTION	COUNT	LAMPS	WATTS	LUMENS	VOLTS	MOUNTING	REMARKS
A7	JUNO LIGHTING JSF-7IN10LM-30K-90CRI -MVL02T-WH	7" ROUND SURFACE	2	LED	13	1000	120/277	MOUNTED UNDERNEATH CANOPY	CONTROLLED BY TIME CLOCK LOCATED INSIDE BUILDING
WP1	LITHONIA LIGHTING WDGE2LED-P1SW-30K-90CRI-VF- MVOLT-SRM-NLTAIR2PIR-XXXX	WALL PACK	1	LED	10	1209	120/277	WALL MOUNTED AT 14'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR
WP2	LITHONIA LIGHTING WDGE2LED-P1SW-30K-90CRI-VW -MVOLT-SRM-NLTAIR2PIR-XXXX	WALL PACK	3	LED	10	1209	120/277	WALL MOUNTED AT 14'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR
SA	LITHONIA LIGHTING RSX1LED-P1-30K-R4-MVOLT-SPA- NLTAIR2-PIRHN-EGS-XXXX	POLE LIGHT	2	LED	51	6543	120/277	POLE MOUNTED AT 20'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR
SB	LITHONIA LIGHTING RSX1LED-P1-30K-AFR-MVOLT-SPA -HS-NLTAIR2-PIRHN-XXXX	POLE LIGHT	1	LED	51	6473	120/277	POLE MOUNTED AT 20'	XXXXX-ARCHITECT TO SELECT FINISH, INTEGRAL HIGH/LOW OCCUPANCY SENSING AND AMBIENT LIGHT SENSOR

JUNO SLIMFORM LED SURFACE MOUNT DOWNLIGHTS
FOR JBOX INSTALLATION
5", 7", 11", 13" ROUND
J5F SERIES

Specifications
EPA (ft²/ft²): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body, 7.2" (18.4 cm) Arm
Weight: 22.0 lbs (10.0 kg)

Ordering Information
Table with columns: RSX LED, P1, 30K, R4, MVOLT, SPA. Includes product codes and descriptions.

Product Description
Slim, shallow profile energy-efficient LED surface mount downlight in multiple sizes from 5" to 13" • Provides exceptional installation by mounting directly to standard and fire-rated junction boxes • Optional flush trim available for custom, designer look similar to standard recessed downlights • Provides general illumination in residential and commercial applications including multi-family and hospitality • Ideal for use in corridors, living spaces, closets, hallways, pantries, stairways, outdoor covered areas with Emergency System and much more.

Installation
Detailed instructions for mounting the fixture to a junction box, including wiring connections and safety warnings.

WDGE2 LED Architectural Wall Sconce
Visual Comfort Optic

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

Ordering Information
Table with columns: WDG2 LED, P1SW, 30K, 60CRI, VF, MVOLT, SRM, D0XB0. Includes product codes and descriptions.

Product Description
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Installation
Detailed instructions for mounting the sconce to a wall, including a cross-section diagram showing the #5 rebar loop and PVC reveal.

TAPERED LIGHT POLE BASE DETAIL
NOT TO SCALE

24"
42"
72"
#5 REBAR LOOP
#5 REBAR (TYPICAL OF 4)
REVEAL 24"
1" PVC
48"

RSX1 LED Area Luminaire

Specifications
EPA (ft²/ft²): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body, 7.2" (18.4 cm) Arm
Weight: 22.0 lbs (10.0 kg)

Ordering Information
Table with columns: RSX LED, P1, 30K, AFR, MVOLT, SPA. Includes product codes and descriptions.

Product Description
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

Installation
Detailed instructions for mounting the luminaire to a ceiling, including arm and mounting hardware details.

WDGE2 LED Architectural Wall Sconce
Visual Comfort Optic

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

Ordering Information
Table with columns: WDG2 LED, P1SW, 30K, 60CRI, VF, MVOLT, SRM, D0XB0. Includes product codes and descriptions.

Product Description
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Installation
Detailed instructions for mounting the sconce to a wall, including a cross-section diagram showing the #5 rebar loop and PVC reveal.

WDGE2 LED Architectural Wall Sconce
Visual Comfort Optic

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

Ordering Information
Table with columns: WDG2 LED, P1SW, 30K, 60CRI, VF, MVOLT, SRM, D0XB0. Includes product codes and descriptions.

Product Description
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Installation
Detailed instructions for mounting the sconce to a wall, including a cross-section diagram showing the #5 rebar loop and PVC reveal.

RSX1 LED Area Luminaire

Specifications
EPA (ft²/ft²): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body, 7.2" (18.4 cm) Arm
Weight: 22.0 lbs (10.0 kg)

Ordering Information
Table with columns: RSX LED, P1, 30K, AFR, MVOLT, SPA. Includes product codes and descriptions.

Product Description
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

Installation
Detailed instructions for mounting the luminaire to a ceiling, including arm and mounting hardware details.

WDGE2 LED Architectural Wall Sconce
Visual Comfort Optic

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

Ordering Information
Table with columns: WDG2 LED, P1SW, 30K, 60CRI, VF, MVOLT, SRM, D0XB0. Includes product codes and descriptions.

Product Description
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Installation
Detailed instructions for mounting the sconce to a wall, including a cross-section diagram showing the #5 rebar loop and PVC reveal.

WDGE2 LED Architectural Wall Sconce
Visual Comfort Optic

Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

Ordering Information
Table with columns: WDG2 LED, P1SW, 30K, 60CRI, VF, MVOLT, SRM, D0XB0. Includes product codes and descriptions.

Product Description
The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution.

Installation
Detailed instructions for mounting the sconce to a wall, including a cross-section diagram showing the #5 rebar loop and PVC reveal.

GENERAL NOTES:

- *0.3 DENOTES FOOTCANDLE LEVEL AT EACH POINT.
- STREET LIGHTING FIXTURES NOT PROVIDED BY THIS PROJECT. LIGHTING CONTRIBUTION BY THESE FIXTURES IS NOT SHOWN.

ISSUED FOR PERMIT
NOT FOR CONSTRUCTION 11/3/22

PEARSON & ASSOCIATES
MECHANICAL & ELECTRICAL ENGINEERS
A subsidiary of DIABLOS & KING INC.
P.O. BOX 119, 119 E. BARRINGTON AVENUE, GERMONT, OHIO 45738
TEL: (614) 878-1276
WWW.PEARSONANDASSOCIATES.COM

PROJECT NAME: OLD WARD 5 SCHOOL APARTMENT, BARRE CITY, VT

SHEET TITLE: SITE LIGHTING PHOTOMETRIC PLAN

PROJECT NUMBER: 1177275939-SSP Renovation of Old Ward 5 School Apartment/Drawings/Electrical/Ward 5 Site Electrical Plan.dwg

DATE:	11/3/2022
SCALE:	AS NOTED
JOB NO.:	727539
DRAWN BY:	BDF
APPROVED BY:	ASG
DWG. NO.:	

REVISION

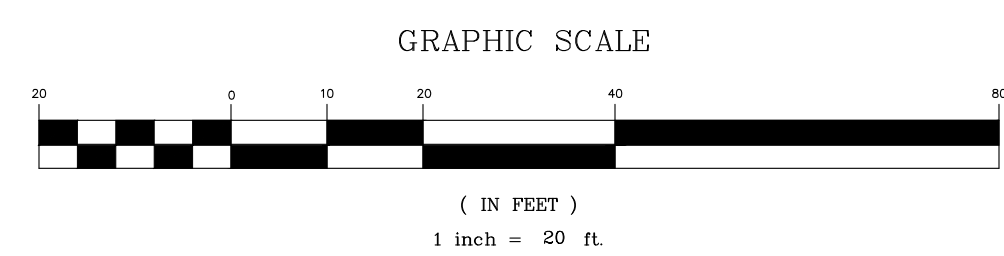
NO.	DATE	DESCRIPTION

SP-1

SHEET 1 OF 1



- NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A TOPOGRAPHICAL SURVEY DATED 10/12/2020, BY WILCOX & BARTON, INC.
 - SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES



Wilcox & Barton INC.
 CIVIL - ENVIRONMENTAL - GEOTECHNICAL
 2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

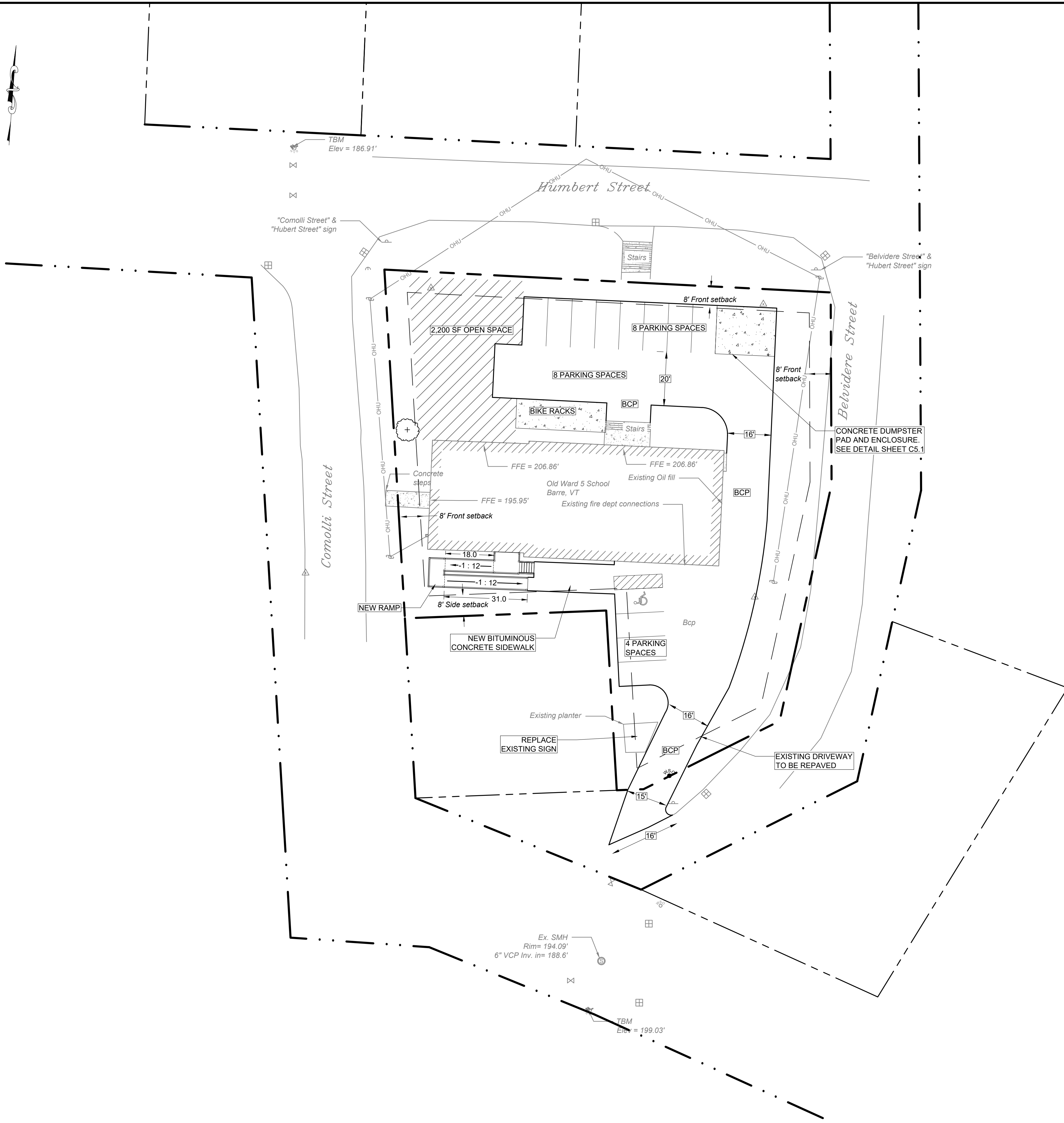
SCOTT + PARTNERS
 ARCHITECTURE
 7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P. 802.872.2764 | SCOTTPARTNERS.COM

project name:
**GRANITE CITY APARTMENTS:
 WARD 5 SCHOOL**
 project address:
 4 HUMBERT ST
 BARRE, VT 05641

scale: 1" = 20'
 project no. 20-1399
 checked by: DLF
 drawn by: GAG/DLF
 proj. date: 11/04/2022
 sheet date: 11/04/2022

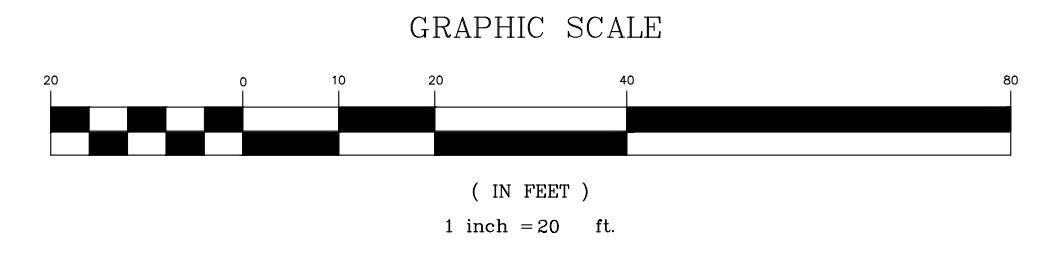
sheet title:
**DEMOLITION
 PLAN**

sheet no.
C1.1
 03



ZONING NOTES:
 Zoning District: MU - 2
 Lot area: 23,501 sf, 0.54 acres
 Building area: 4,590 sf (10.5% lot coverage)
 Existing impervious coverage: 14,784 sf (63%)
 Proposed impervious coverage: 13,142 sf (56%)
 Reduction in Impervious coverage: 1,642 sf

Existing use: Institutional
 Proposed use: 9 unit multi family residential (conditional use)
 Allowable density: 1 unit per 2,700 sf; 9 allowed
 Open space provided: 2,200 sf



Wilcox & Barton INC.
 CIVIL - ENVIRONMENTAL - GEOTECHNICAL
 2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

SCOTT + PARTNERS
 ARCHITECTURE
 7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P. 802.879.5155 F. 802.872.2764 SCOTTPARTNERS.COM

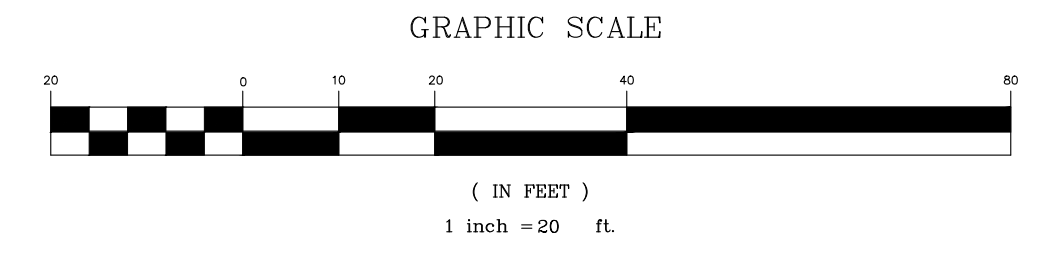
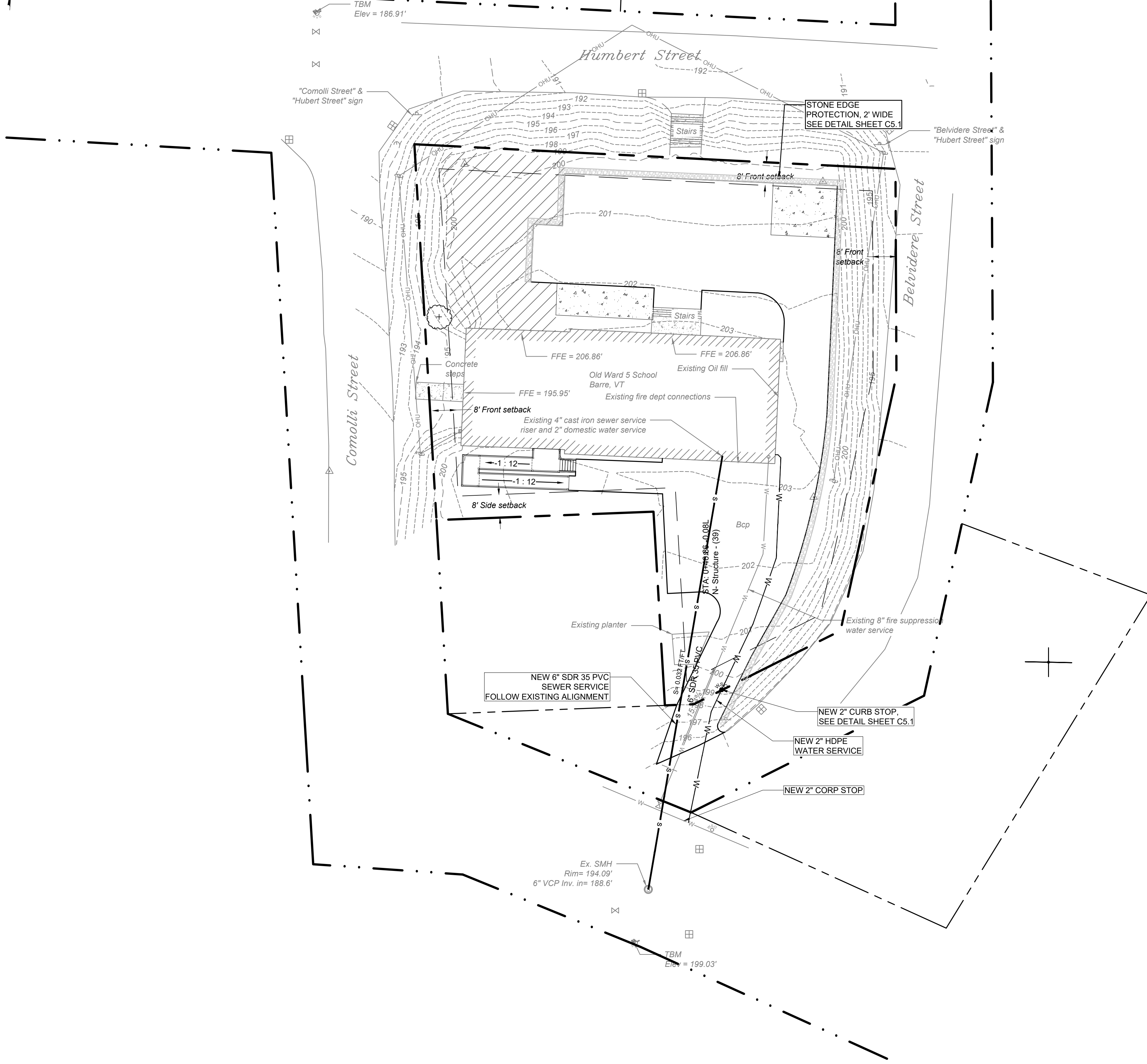
project name:
**GRANITE CITY APARTMENTS:
 WARD 5 SCHOOL**
 project address:
 4 HUMBERT ST
 BARRE, VT 05641

scale: 1" = 20'
 project no. 20-1399
 checked by: DLF
 drawn by: GAG/DLF
 proj. date: 11/04/2022
 sheet date: 11/04/2022

sheet title:

SITE PLAN

sheet no.
C1.2
 04



Wilcox & Barton INC.
 CIVIL - ENVIRONMENTAL - GEOTECHNICAL
 2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

SCOTT + PARTNERS
 ARCHITECTURE
 7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P. 802.879.5155 | F. 802.872.7164 | SCOTTPARTNERS.COM

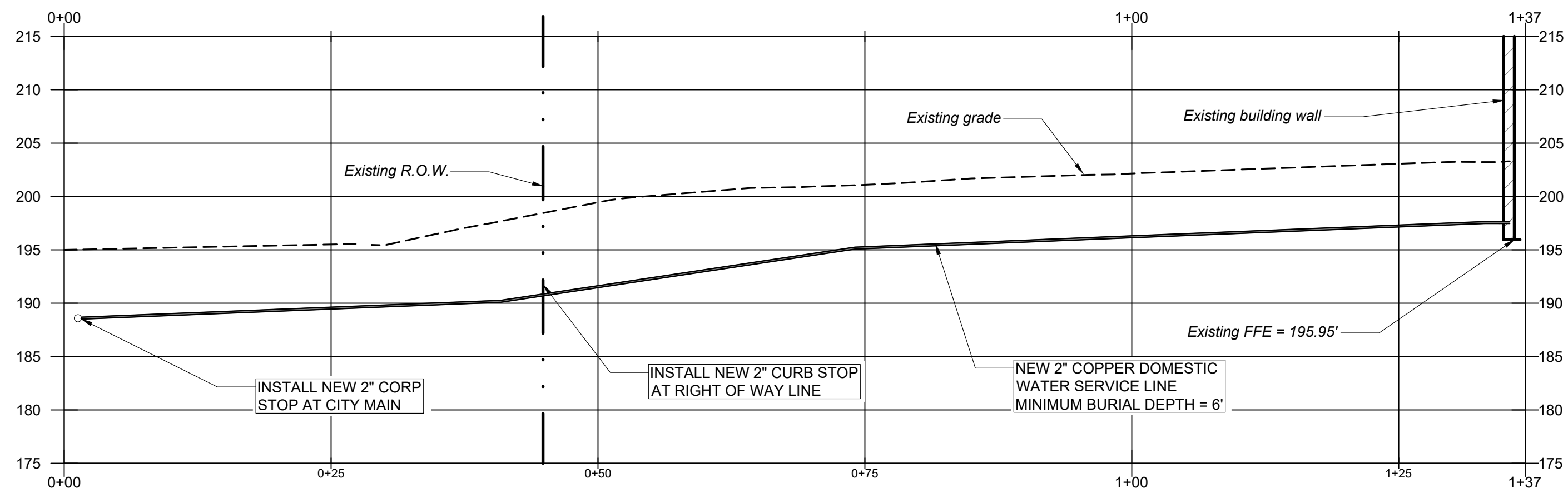
project name:
**GRANITE CITY APARTMENTS:
 WARD 5 SCHOOL**
 project address:
 4 HUMBERT ST
 BARRE, VT 05641

scale: 1" = 20'
 project no. 20-1399
 checked by: DLF
 drawn by: GAG/DLF
 proj. date: 11/04/2022
 sheet date: 11/04/2022

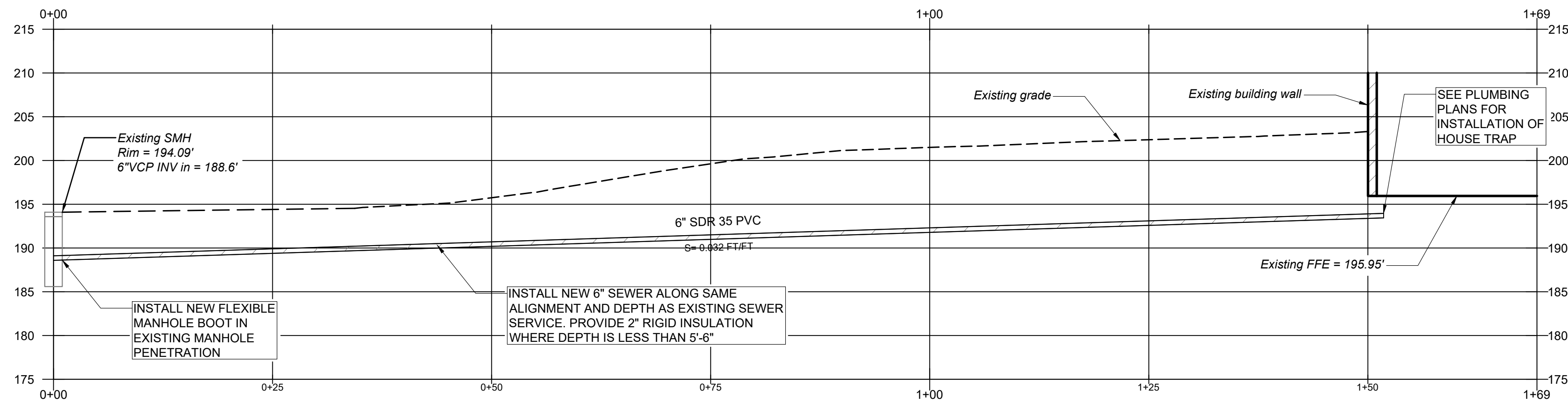
sheet title:

**GRADING &
 DRAINAGE**

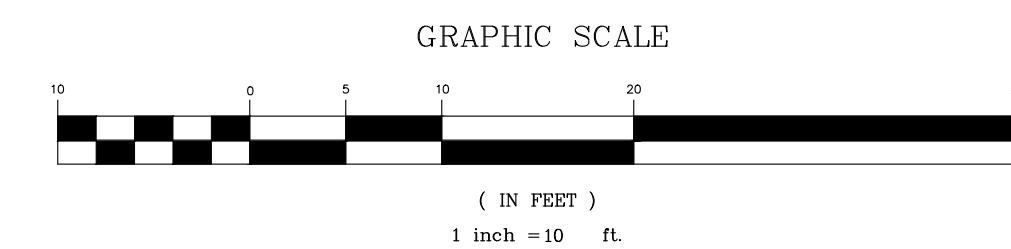
sheet no.
C1.3
 05



WATER LINE
 Horiz Scale: 1" = 10'
 Vert Scale: 1" = 10'



SEWER LINE
 Horiz Scale: 1" = 10'
 Vert Scale: 1" = 10'



Wilcox & Barton INC.
 CIVIL - ENVIRONMENTAL - GEOTECHNICAL
 2 CAPITAL PLAZA, SUITE 305
 CONCORD, NH 03301
 603-369-4190
 www.wilcoxandbarton.com

SCOTT + PARTNERS
 ARCHITECTURE
 7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P. 802.879.5155 F. 802.872.7764 | SCOTTPARTNERS.COM

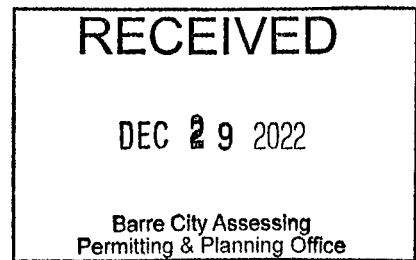
project name:
**GRANITE CITY APARTMENTS:
 WARD 5 SCHOOL**
 project address:
 4 HUMBERT ST
 BARRE VT 05641

scale: 1" = 10'
 project no: 20-1399
 checked by: DLF
 drawn by: GAG/DLF
 proj. date: 11/04/2022
 sheet date: 11/04/2022

sheet title:
**UTILITY
 PROFILES**

sheet no.
C2.1
 06

December 29, 2022



FROM: Michael and Regina Giroux
1 Humbert St
Barre VT 05641

TO: City of Barre Office of Planning, Permitting, & Assessing

Dear Board Members: To Whom this may concern

Thank you for contacting us with current information regarding potential utilization of the property at 4 Humbert Street, formerly known as Ward 5 School, now owned by the Barre Housing Authority.

Let me begin by stating that we are in a very close proximity to the property at 1 Humbert Street for 12 years and also brought it back from the dead. After residing here for this duration of time, it was natural for us to learn the functionality of the neighborhood. Although the Barre Housing Authority have been good neighbors, they really only occupied this building for a short time during this twelve year period and the remainder of this time this structure and site have been vacant. Along the some lines things developed, amongst them, drug deals, and late night rendezvous as deterioration of the site and building itself to indicate some things.

To convert this building to nine unit is detrimental to the neighborhood as it does not fit the residential theme of the neighborhood, although we feel the property should be used in s

ome capacity i.e., elderly assisted living or possibly professional office space among fgr5other relatively passive uses. It should be noted also that the traffic in this neighborhood is already at its limit as we have limited accessibility from VT 62 and other parts of town making this very hazardous at some points during the day.

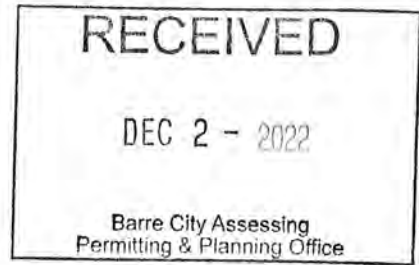
Additionally this structure and site are in horrendous condition contributing to extremely high cost of conversion involving asbestos and lead abatement to use just two examples. After speaking with some neighbors, no one wants to deal with this permanent change to the neighborhood as well as experiencing decling property values and living standard environment.

We thank you for taking this time to review this statement and ask for your consideration as to the effect of solid long time city residents.

Sincerely,

Michael and Regina Giroux

12/1/2022



Janet Shatney
Directory of Planning, Permitting & Assessing
City of Barre, Vermont
6 N. Main Street, Suite 7
Barre, VT 05641

Janet,

Please find attached the application and accompanying information for the DRB to consider a request to construct an outdoor patio at the Barre Elks Lodge at 10 Jefferson Street. As discussed, the Elks has a liquor license that allows for consumption on the entire property but there is no appealing outdoors space for members to use in the summer months. The lodge feels that it would be beneficial to install an outdoor space on the Elm Street side.

The existing building is between 20 and 25 ft from the sidewalk. The existing entrance is 11 ft from the sidewalk. The proposed patio would be constructed 12 ft out from the building and 36 ft along the building. Outdoor seating total has yet to be determined but if 12 to 15 square feet per person is used as a guide, the patio could seat 30 to 35 people. While it may be done in phases, the patio will ultimately have a fence enclosure with one or more gates to protect furniture and create a separation from pedestrian traffic. Once constructed the patio and fence will be between 8 and 13 ft of the sidewalk.

The project is not in a flood hazard area and I have included the ANR Resources atlas with the layer turned on to show the board that. Maps are enclosed showing approximate property lines as well as proposed and existing conditions and setbacks.

Please feel free to contact me if you need any supplemental information. Otherwise, we will attend the hearing and attempt to answer any questions the board may have. Thanks again for meeting with us to clarify the process on the request.

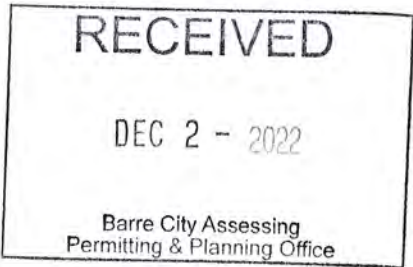
Best Regards,


Jim Fecteau



PERMIT APPLICATION FORM COVER SHEET
6 N. Main Street, Suite 7, Barre, VT 05641

Office: (802) 476-0245



Please provide all of the information requested in this application. Failure to provide all the required information may delay the process for obtaining a permit. Submit one copy of the completed application bearing original signature(s) and cash or a check made payable to the City of Barre. Please contact the State of Vermont Permit Specialist at 802-505-5367 for any required state permits.

Fecteau Homes
Jim Fecteau
10 BOX 703

PHYSICAL LOCATION OF PROJECT (E911 address): 10 Jefferson Street

CONTACT INFORMATION (all correspondence will be with the Applicant unless otherwise specified)

APPLICANT Trustees of the Barre Lodge #1535
PROPERTY OWNER Trustees of the Barre Lodge #1535
MAILING ADDRESS P.O. Box 245 Barre VT 05641-0245
MAILING ADDRESS P.O. Box 245 Barre VT 05641-0245

PREFERRED DAYTIME CONTACT
[] Phone 802 229 8399
[] email Jim@Fecteauhomes.com
[] Phone Todd Benoit, Exalted Ruler 802 279 6156
[] email Todd@benoitelectric.com

PRESENT USE(S) OF PROPERTY
[] Single Family [] Single family w/access. Apt [] Duplex [] Multi-Family [] Mixed Use [] Vacant Land
[] Commercial/Industrial Bldg. [] Institutional [] Vacant Bldg. [] Other:

PROPOSED USE(S) OF PROPERTY
[] Same as existing [] Other

PERMIT(S) BEING APPLIED FOR DESCRIPTION OF WORK PROPOSED
[] Zoning
[] Building
[] Flood Hazard
[] DRB Decision Construct a 12 x 36 Patio on existing ground and Vinyl fence enclosure less than 60" tall.

Applicant Received a Building Energy Code Handbook, if applicable for the project:
Date Received: Initials of Applicant:

The undersigned hereby certifies that the information on this application is true and accurate to the best of their belief, consents to its submission, and understands that if the application is approved, any permits issued, and any attached conditions will be binding on the property.

Further, the undersigned authorizes the Permit Administrator and/or the Building Inspector access, at reasonable times, to the property covered by the permit issued under this application, for the purposes of ascertaining compliance with said permit.

APPLICANT SIGNATURE [Signature] DATE 12-1-2022
PROPERTY OWNER SIGNATURE DATE

Applications must bear original signatures of the Property Owner of Record, or accompanying Agent for Owner form

All activities approved with a zoning/flood hazard permit from this application must commence within 1 year of issuance, and be completed in 3 years, or the permit will be considered null and void.

All activities approved with a building permit from this application must commence within 1 year of issuance, and be completed in 3 years, or the permit will be considered null and void.

For Office Use Only:
Zoning District: UC-2 [] D-1 [] D-2 [] Flood Hazard Area Zone 4 Fees Received: \$ 175.-
[] Review by Building Official [] Referred to the DRB [] Referred to the VTANR for Floodplain Review [] Administrative Permit
Zoning Permit: Z - Bldg. Permit: B - Fld Haz Permit: F -

FECTEAU RESIDENTIAL, INC.
dba FECTEAU HOMES
PO BOX 703
BARRE, VT 05641

COMMUNITY NATIONAL BANK
BARRE, VT 05641
58-102/116

43524

12/5/2022

PAY TO THE ORDER OF CITY OF BARRE

\$**190.00

One Hundred Ninety and 00/100*****

DOLLARS

CITY OF BARRE
PO BOX 418
BARRE, VT 05641

VOID AFTER 6 MONTHS

MEMO

BARRE ELKS

Authorized Signature

⑈00043524⑈ ⑆011601029⑆ 1300125601⑈

FECTEAU RESIDENTIAL, INC. dba FECTEAU HOMES

43524

CITY OF BARRE

12/5/2022

190.00

CNB CHECKING

BARRE ELKS

190.00

Security Features: See Inside for Details on Bank



City of Barre, Vermont

"Granite Center of the World"

Permitting Office in City Hall ~ 6 N Main Street, Suite 7, Barre, VT 05641

AGENT FOR OWNER FORM

This form is used to authorize an applicant to sign a permit application form. It must be signed and dated by the owner of record. Original signature or digital signature will be accepted.

I hereby grant authority to Jim Fecteau

to act as my agent for the following property:

Street (911) address: 10 Jefferson St

Permission is granted to apply for the following permits only: initial next to the line(s) appropriate:

 All applicable building and zoning permits for the current application only.

 All applicable building and zoning permits for the current application, and any necessary modifications to that application as the result of any conditions placed on that application by the City of Barre.

 All applicable building and zoning permits for the current and any future applications.

Todd Benoit, ER

Print Name

Todd Benoit

Signature

12-1-2022

Date



City of Barre, Vermont

"Granite Center of the World"

Permitting Office in City Hall ~ 6 N Main Street, Suite 7, Barre, VT 05641

ZONING PERMIT APPLICATION

Check all activities involved in this application:

<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Site Work
<input type="checkbox"/>	All other construction	<input type="checkbox"/>	Pool (if greater than 20' or 5' in depth)
<input type="checkbox"/>	Building Addition	<input type="checkbox"/>	Construction Job Trailer
<input type="checkbox"/>	Accessory Structure, greater than 40 sq. ft.	<input type="checkbox"/>	Permanent Sign
<input type="checkbox"/>	New apartment	<input type="checkbox"/>	Temporary Sign/Banner
<input type="checkbox"/>	Accessory apartment	<input type="checkbox"/>	Sandwich Board Sign
<input type="checkbox"/>	Building Alteration	<input type="checkbox"/>	Home Occupation
<input type="checkbox"/>	Interior Renovation (if change of use of room)	<input type="checkbox"/>	Home Business
<input type="checkbox"/>	Demo in Historic District (needs DRB approval)	<input type="checkbox"/>	Boundary Line Adjustment
<input type="checkbox"/>	Dec - porch - steps - ramp	<input type="checkbox"/>	Subdivision
<input type="checkbox"/>	Handicapped ramp	<input type="checkbox"/>	Parking Lot
<input type="checkbox"/>	Change of Use	<input type="checkbox"/>	Soil / Sand / Gravel Extraction
<input type="checkbox"/>	Fence or Wall	<input type="checkbox"/>	Dimensional Waiver Request (DRB approval)
<input type="checkbox"/>	Temporary Structure	<input type="checkbox"/>	Appeal (DRB approval)
<input type="checkbox"/>	Certificate of Compliance	<input type="checkbox"/>	Variance Request (DRB approval)
<input type="checkbox"/>	Temporary Certificate of Compliance	<input type="checkbox"/>	Other: _____

ESTIMATED COST OF PROJECT: \$ 5,000

ZONING APPLICATION FEES (check all that apply)¹:

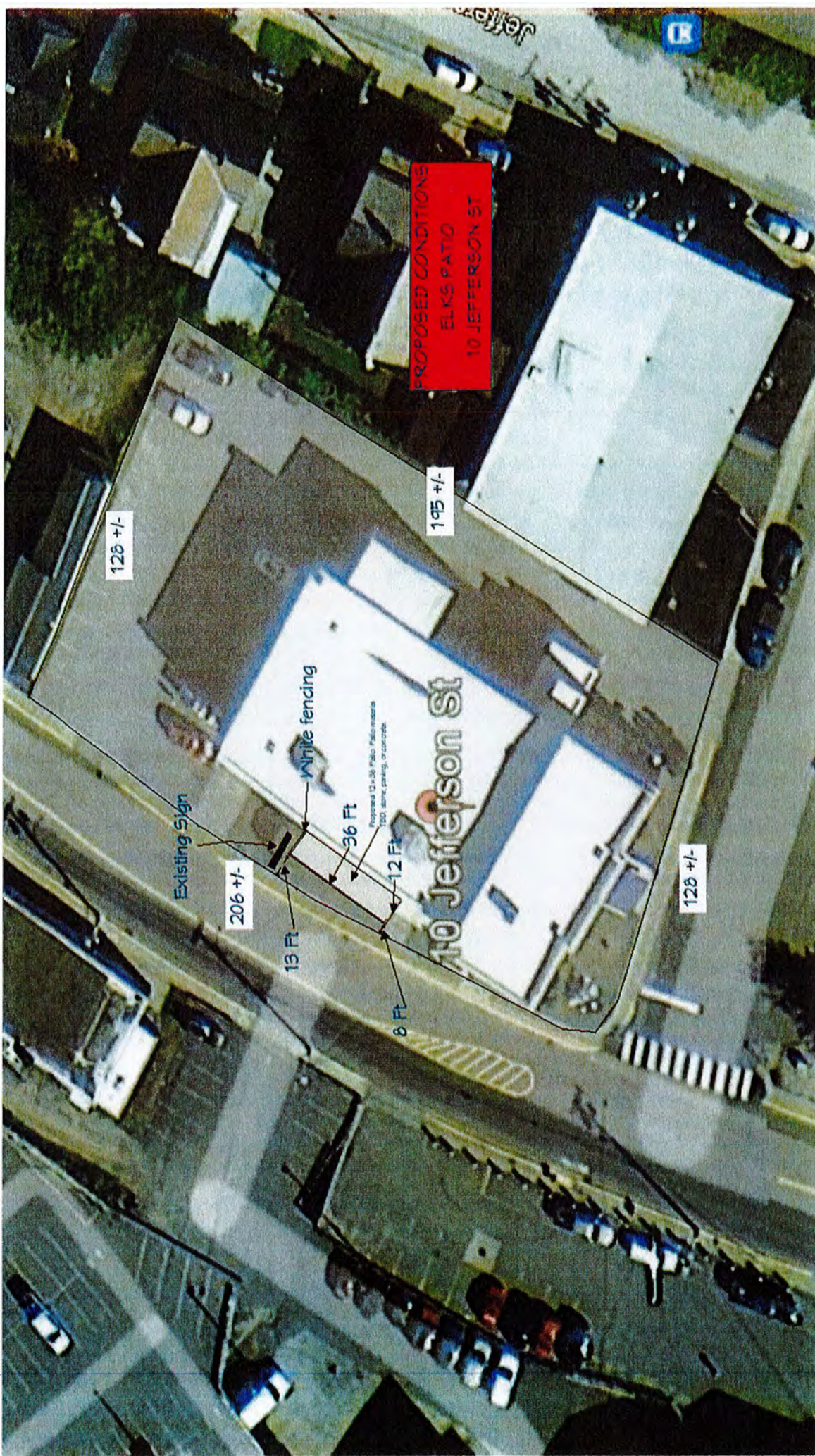
<input type="checkbox"/>	\$20	Residential 1-4 Units (\$1 - \$5,000)	<input type="checkbox"/>	\$40	Site Work
<input type="checkbox"/>	\$40	Residential 1-4 Units (\$5,001 - \$10,000)	<input type="checkbox"/>	\$40	Signs
<input type="checkbox"/>	\$75	Residential 1-4 Units (\$10,001 - \$25,000)	<input type="checkbox"/>	\$40	Sandwich Board Sign
<input type="checkbox"/>	\$100	Residential 1-4 Units (\$25,001 - \$150,000)	<input type="checkbox"/>	\$30	Temporary Sign/Banner
<input type="checkbox"/>	\$150	Residential 1-4 Units (\$150,000 +)	<input type="checkbox"/>	\$40	Change of Use
<input type="checkbox"/>	\$50	Comm., Indus., Mixed Use, Res 5+ Units (\$1 - \$10,000)	<input type="checkbox"/>	\$40	Home Occupation
<input type="checkbox"/>	\$100	Comm., Indus., Mixed Use, Res 5+ Units (\$10,001 - \$25,000)	<input type="checkbox"/>	\$20	Subdivision Sketch Plan Approval
<input type="checkbox"/>	\$200	Comm., Indus., Mixed Use, Res 5+ Units (\$25,001 - \$150,000)	<input type="checkbox"/>	\$50	Subdivision Final Plat Approval
<input type="checkbox"/>	\$300	Comm., Indus., Mixed Use, Res 5+ Units (\$150,001 - \$350,000)	<input type="checkbox"/>	\$40	Boundary Line Adjustment
<input type="checkbox"/>	\$400	Comm., Indus., Mixed Use, Res 5+ Units (\$350,000 +)	<input checked="" type="checkbox"/>	\$40	Fences / Walls
<input checked="" type="checkbox"/>	\$175	Development Review Board Fee	<input type="checkbox"/>	\$30	Certificate of Compliance
<input type="checkbox"/>	\$20	Temporary Structure	<input type="checkbox"/>	\$15	Temporary Cert of Compliance (+\$10/mo up to an additional 12 mo.)

¹ If more than one category applies, the higher fee is required of all checked.

ZONING PERMIT FEE TOTAL:

Subtotal application fee from above: \$ 175 + \$15 recording fee = \$ 190

This is an application for a local permit only. Other Permits may be NECESSARY. Please contact the Vermont Dept. of Public Safety at (802) 479-4434 for permitting requirements.



PROPOSED CONDITIONS
ELKS PATIO
10 JEFFERSON ST

128 +/-

195 +/-

White fencing

Existing Sign

206 +/-

13 Ft

36 Ft

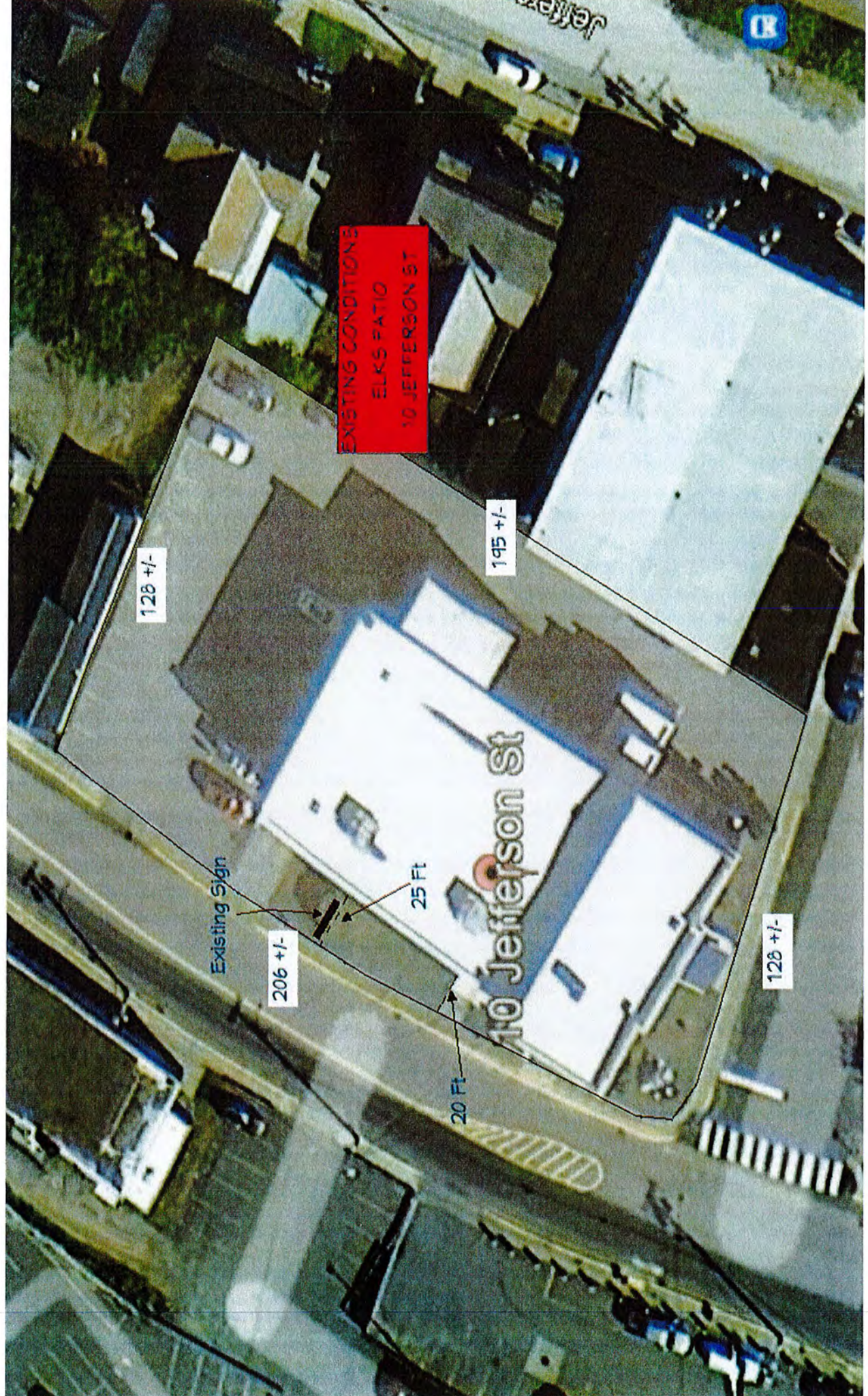
Proposed 12.06 Patio: Paved-masonry
(100% stone, paving, or concrete)

12 Ft

8 Ft

110 Jefferson St

128 +/-



EXISTING CONDITIONS
ELKS PATIO
10 JEFFERSON ST

128 +/-

195 +/-

Existing Sign

206 +/-

25 Ft

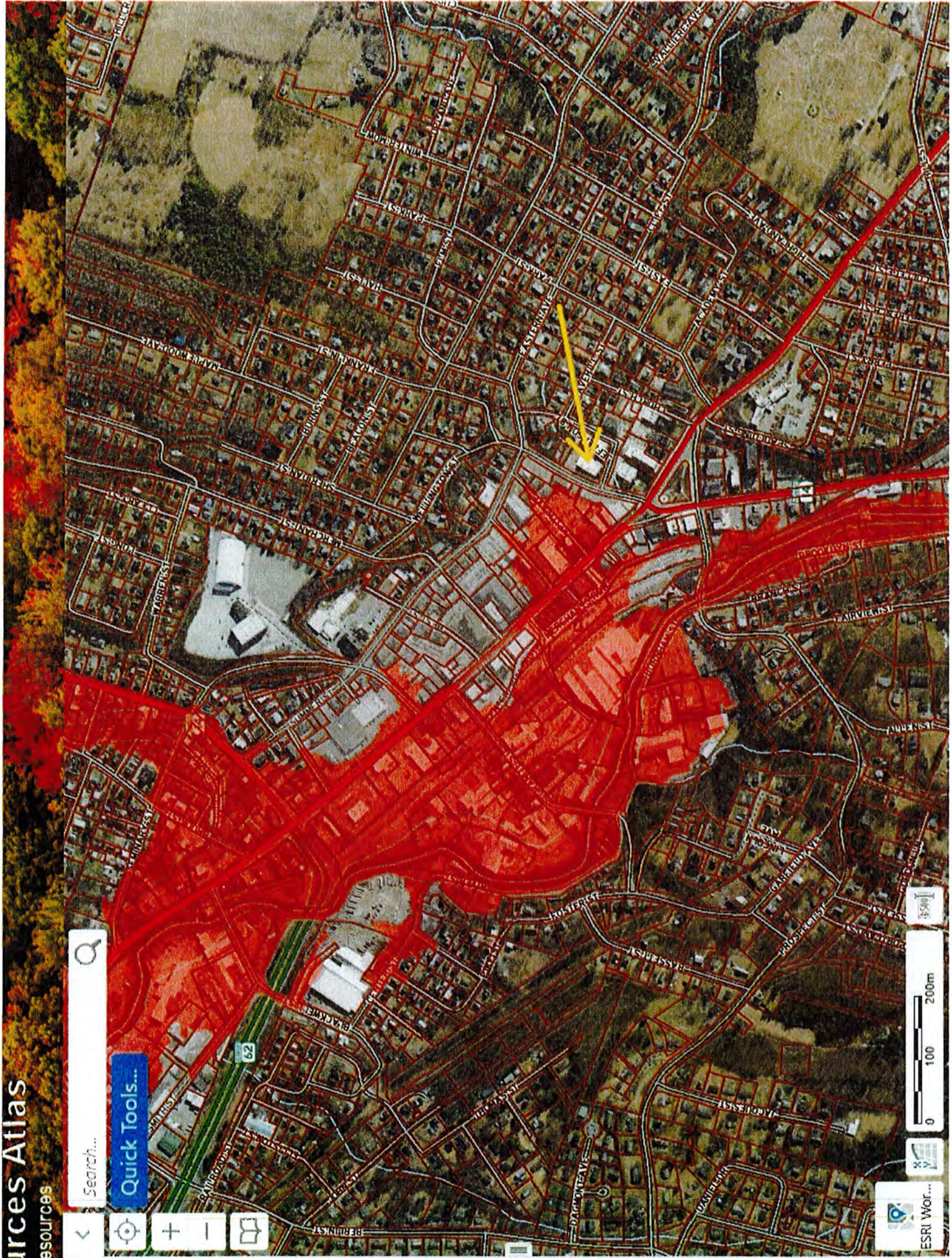
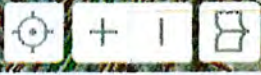
20 Ft

10 Jefferson St

128 +/-

Search...

Quick Tools...





CITY OF BARRE, VERMONT

Application for Zoning Permit, Site Plan Approval or Conditional Use Permit

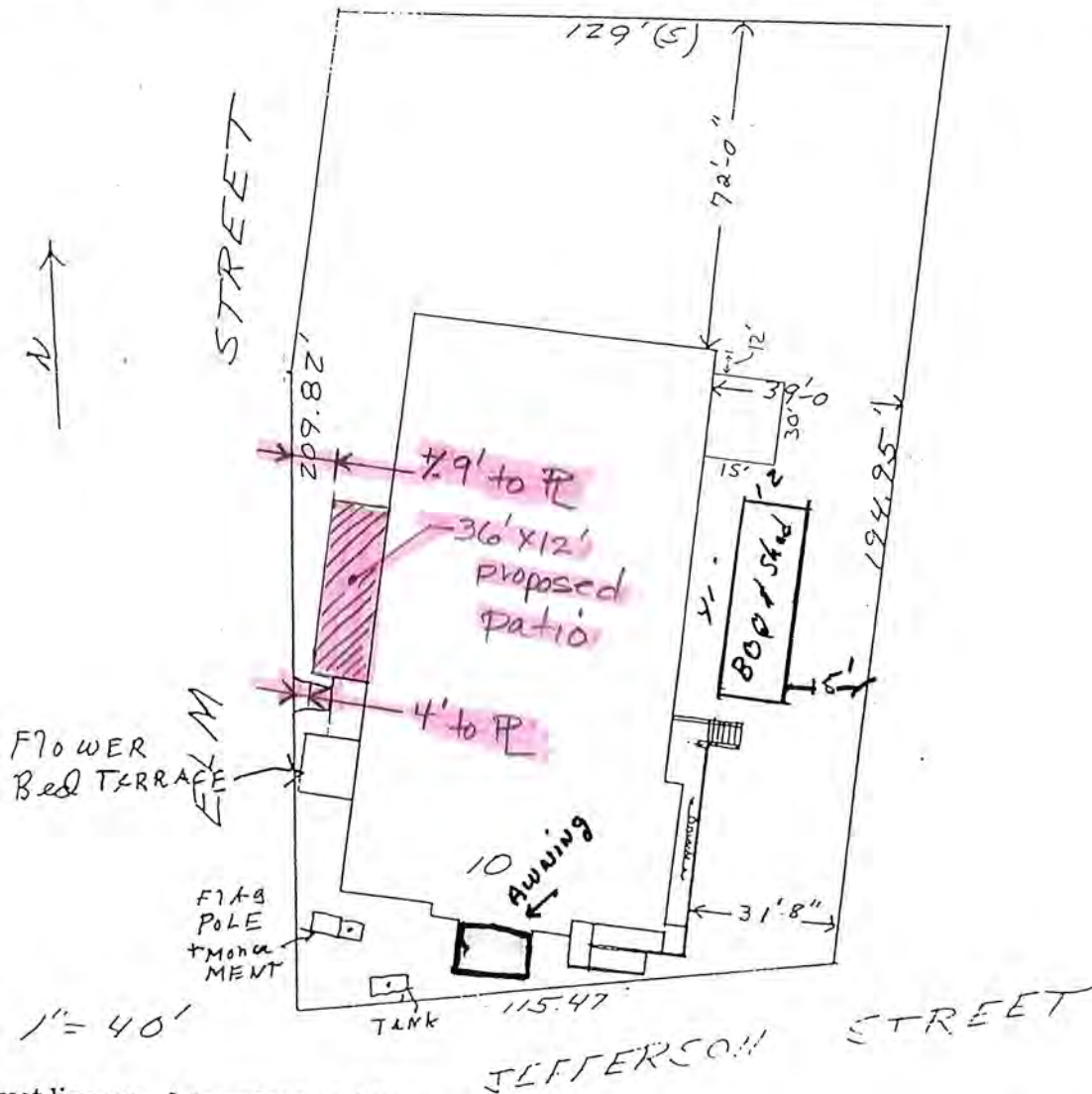
PLOT PLAN

PERMIT No.

WARD

Location and Detail must be correct, complete and legible.

In the blank space below draw the exact shape of your lot and mark the boundary distances: next show all present and proposed buildings in their correct location on the lot and mark the size on same.



Street line was determined as follows:

STREET LINE DETERMINED BY ENGINEER'S OFFICE /

Groleau